

SITE PLAN DRAWINGS FOR PUD

The Columbia

2465, 2475, 2466 & 2476 Columbia and 2475 & 2465 Cambridge Street

Berkley, MI 48072

PROPERTY DESCRIPTION (AS SURVEYED)

(PER TITLE COMMITMENT NO. 21223250-LP, ISSUED BY BELL TITLE AGENCY, DATED AUGUST 17, 2021)

LAND IN THE CITY OF BERKLEY, COUNTY OF OAKLAND, MICHIGAN TO WIT:

PARCELS 1 AND 2:

LOTS 123 AND 124, EXCEPT THAT PORTION NOW INCLUDED IN COOLIDGE HIGHWAY, HANNAN'S WEST ROYAL OAK SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 14 OF PLATS, PAGE 3, OAKLAND COUNTY RECORDS.

(TAX ID.: 25-17-353-001 - 2475 CAMBRIDGE)

(TAX ID.: 25-17-353-002 - 2465 CAMBRIDGE)

PARCEL 3:

EAST 53.4 FEET OF LOTS 185 AND 186, HANNAN'S WEST ROYAL OAK SUBDIVISION, AS RECORDED IN LIBER 14, PAGE 3 OF PLATS, OAKLAND COUNTY RECORDS

(TAX ID.: 25-17-355-002 - 2465 COLUMBIA)

PARCEL 4:

LOTS 185 AND 186, EXCEPT EAST 53.40 FEET OF EACH, ALSO EXCEPT WEST 10.19 FEET OF LOT 185 AND WEST 10.17 FEET OF LOT 186, HANNAN'S WEST ROYAL OAK SUBDIVISION, AS RECORDED IN LIBER 14, PAGE 3 OF PLATS, OAKLAND COUNTY RECORDS.

(TAX ID.: 25-17-355-001 - 2475 COLUMBIA)

PARCEL 5:

EAST 53.4 FEET OF LOTS 125 AND 126, HANNAN'S WEST ROYAL OAK SUBDIVISION, AS RECORDED IN LIBER 14, PAGE 3 OF PLATS, OAKLAND COUNTY RECORDS.

(TAX ID.: 25-17-353-016 - 2466 COLUMBIA)

PARCEL 6:

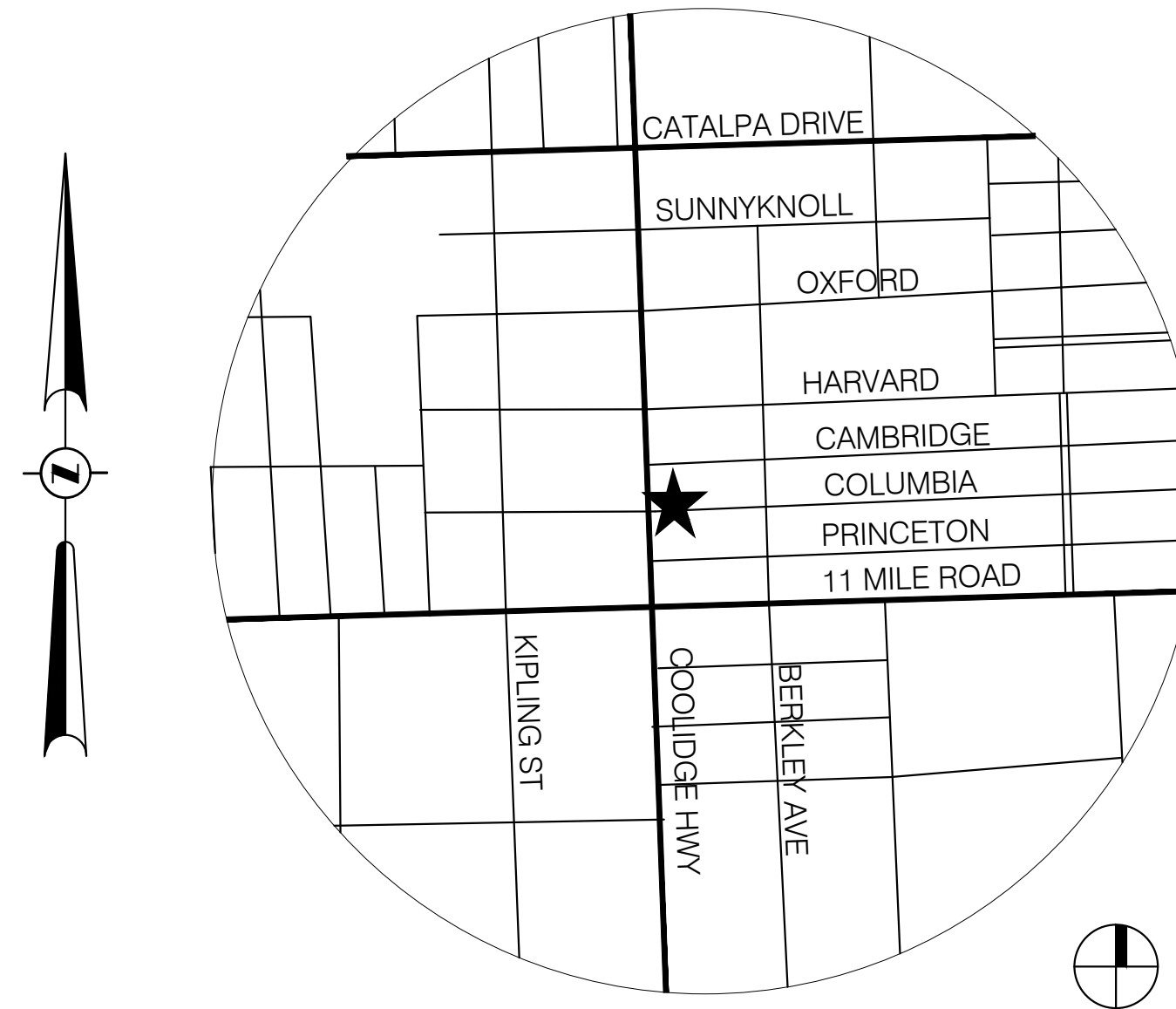
LOTS 125 AND 126, EXCEPT THE EAST 53.40 FEET OF EACH, ALSO EXCEPT WEST 10.25 FEET OF LOT 125, ALSO EXCEPT WEST 10.23 FEET OF LOT 126, HANNAN'S WEST ROYAL OAK SUBDIVISION, AS RECORDED IN LIBER 14, PAGE 3 OF PLATS, OAKLAND COUNTY RECORDS.

(TAX ID.: 25-17-353-015 - 2476 COLUMBIA)

SCHEDULE B - II. EXCEPTIONS

(PER TITLE COMMITMENT NO. 21223250-LP, ISSUED BY BELL TITLE AGENCY, DATED AUGUST 17, 2021)

NO SCHEDULE B - II. EXCEPTIONS, LISTED.



VICINITY MAP

PROJECT DESCRIPTION

PROPOSED 3 1/2 STORY MULTIFAMILY DEVELOPMENT ON 0.83 VACANT ACRES LOCATED AT THE EAST SIDE OF COOLIDGE HIGHWAY AND OFF OF CAMBRIDGE AND COLUMBIA ROADS. BUILDING DIMENSIONS ARE 367' X 74', WITH THE LONGER SIDE FACING COOLIDGE. A TOTAL OF FIFTY SEVEN (57) APARTMENT UNITS CONSISTING OF TWELVE (12) STUDIO, TWENTY EIGHT(28) ONE BEDROOM, FOURTEEN (14) STUDIO LOFTS AND THREE(3) ONE BEDROOM LOFTS. GROUND FLOOR SPACE 1,476 SQ. FT. SECOND FLOOR RESIDENTIAL 20,351 SQ. FT. THIRD FLOOR RESIDENTIAL. 24,710 SQ. FT. LOFT RESIDENTIAL 4,669 SQ. FT. 52,685 GSF TOTAL.

DRAWING INDEX

SHEET NO:	DRAWING NAME
G1.1	Title Sheet and Index
C200	Topographic & Boundary Survey
C210	Schedule of Structures
C300	Demolition Plan
C600	Grading Plan
C700	Utility Plan
C720	Utility Calculations
LS100	Landscape Plan
1 of 1	Photometric Site Plan
A1.0	Project Data
A1.1	Main Floor Plan & Second Floor Plan
A1.2	Third Floor Plan & Loft-Roof Plan
A1.3	Unit Prototypes
A2.1	Enlarged Plans
A3.1	Elevations and Building Section
A4.1	Building Rendering
A4.2	Building Rendering
A4.3	Building Rendering
A5.1	Code Compliant Site Plan & Renders
A6.1	Setback & Elevation Studies
A7.0	Material Finish Board
A7.1	Rendering

APPLICANT/DEVELOPER:

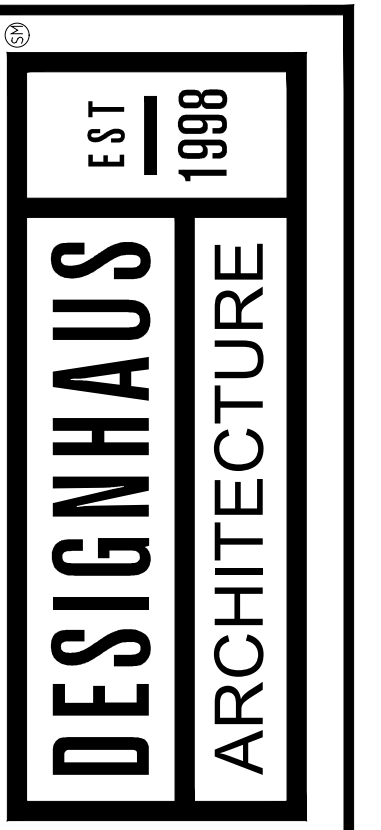
WAYNE WUDYKA
2060 COOLIDGE HWY
BERKLEY, MI 48072
T: 810.602.1963
EMAIL: WAYNE@CRDN.COM

ARCHITECT:

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T: 248.601.4422
F: 248.453.5854
PROJECT MANAGER: PETER STUHLREYER, A.I.A
PROJECT ARCHITECT: PETER STUHLREYER, A.I.A
LANDSCAPE ARCHITECT: MIKE PIZZOLA, ASLA

CIVIL ENGINEER:

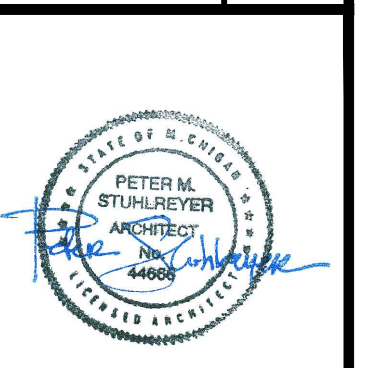
GIFFELS WEBSTER
1025 E. MAPLE ROAD, SUITE 100
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F: 313.962.5068
C: 248.821.9745
CONTACT: JOSEPH ANDERSON



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WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

ISSUANCE	DATE
PUD Submit #5	01/15/24
PUD Submit #4	10/13/23
PUD Submit #3	08/29/23
PUD Submit #2	08/25/23
PUD Submit	07/21/23

ISSUANCE	DATE
PUD Submit #5	01/15/24
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PUD Submit #2	08/25/23
PUD Submit	07/21/23



The Columbia
2465, 2475, 2466, 2476 Columbia and 2475, 2465 Cambridge St.
Berkley, MI 48072
Title Sheet & Index.

023010

G1.1

LEGEND -- EXISTING

- | | | | |
|----------------------|-----------------------------|-------------------------|------------------------|
| --- SECTION LINE | ⊙ SAN. MH | ⊙ GAS METER | ★ MISC. TOPO. FEATURE |
| --- E/ PAVEMENT CURB | ⊙ SAN. CLEAN OUT | ⊙ GAS RISER | ● SURVEY CONTROL POINT |
| --- E/ GRAVEL | ⊙ SAN. VALVE | ⊙ GAS MH | ● FOUND IRON |
| --- CL ROAD | ⊙ SAN. PUMP STATION | ⊙ COMB. MH | ● FOUND NAIL |
| --- E/ WALK | ⊙ COMB. MH | ⊙ GATE VALVE | ⊙ TELE. RISER |
| --- RAILROAD | ⊙ GATE VALVE | ⊙ HYDRANT | ⊙ TELE. MH |
| --- E/ BRICK | ⊙ HYDRANT | ⊙ TELE. CROSS BOX | ⊙ FENCE POST |
| --- MISC. LINE | ⊙ WATER VALVE | ⊙ CABLE RISER | ⊙ BENCHMARK |
| --- FENCE | ⊙ WATER METER | ⊙ PAY PHONE | ⊙ FOUND PIPE |
| --- GUARD RAIL | ⊙ POST INDICATOR VALVE | ⊙ MANHOLE | ⊙ FOUND MON. |
| --- WALL | ⊙ WELL HEAD | ⊙ ASPH. | ASPH. |
| --- BLDG. LINE | ⊙ FDC CONNECTION | ⊙ CONC. | CONC. |
| --- OVERHEAD WIRES | ⊙ IRRIGATION CONTROL BOX | ⊙ SIGN | SIGN |
| --- RAILING | ⊙ STORM MH | ⊙ GUY | GUY |
| --- OVERHANG LINE | ⊙ CATCH BASIN | ⊙ PROT. POST/GUARD POST | PROT. POST/GUARD POST |
| --- T/ BANK | ⊙ BEEHIVE CB | ⊙ ASPH. | ASPH. |
| --- CL DITCH/STREAM | ⊙ CULVERT E.S. | ⊙ ASPH. | ASPH. |
| --- SHRUB LINE | ⊙ ROOF/DOWN SPOUT | ⊙ ASPH. | ASPH. |
| --- TREE LINE | ⊙ OVERFLOW/OUTLET STRUCTURE | ⊙ ASPH. | ASPH. |
| --- WATER EDGE | ⊙ HANDICAP PARKING | ⊙ ASPH. | ASPH. |
| --- WETLAND LINE | ⊙ ROUND CB | ⊙ ASPH. | ASPH. |
| --- STM | ⊙ LIGHT POLE | ⊙ ASPH. | ASPH. |
| --- SAN | ⊙ BUSH/SHRUB | ⊙ ASPH. | ASPH. |
| --- W | ⊙ UTILITY POLE | ⊙ ASPH. | ASPH. |
| --- GAS | ⊙ ELEC. TRANS. | ⊙ ASPH. | ASPH. |
| --- UGE | ⊙ AIR CONDITIONER | ⊙ ASPH. | ASPH. |
| --- UGT | ⊙ ELEC. MH | ⊙ ASPH. | ASPH. |
| --- CTV | ⊙ ELEC. METER | ⊙ ASPH. | ASPH. |
| --- | ⊙ ELEC. RISER | ⊙ ASPH. | ASPH. |
| --- | ⊙ TRAFFIC CONTROL BOX | ⊙ ASPH. | ASPH. |
| --- | ⊙ STEAM MH | ⊙ ASPH. | ASPH. |
| --- | ⊙ TELEPHONE OVERHEAD | ⊙ ASPH. | ASPH. |

MISS DIG DESIGN TICKET NUMBER:
B012982740-00B

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

BENCH MARK DATA

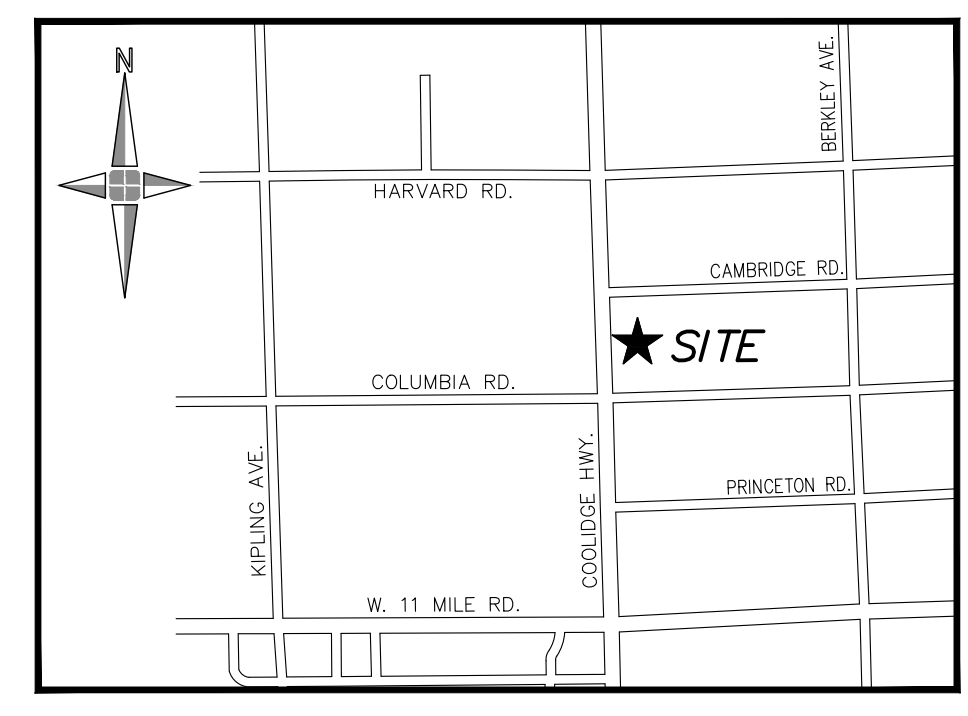
(NAVD88) DATUM WHICH DATUM? NOT LISTED ON BENCH LOOP

BENCH MARK 1
ARROW ON HYDRANT (1996), LOCATED ON THE WEST SIDE OF COOLIDGE HIGHWAY, +/- 3.5 FEET OFF OF THE BACK OF CURB, AND +/- 36 FEET SOUTH OF COLUMBIA ROAD.
ELEVATION=672.66'
(SHOWN GRAPHICALLY)

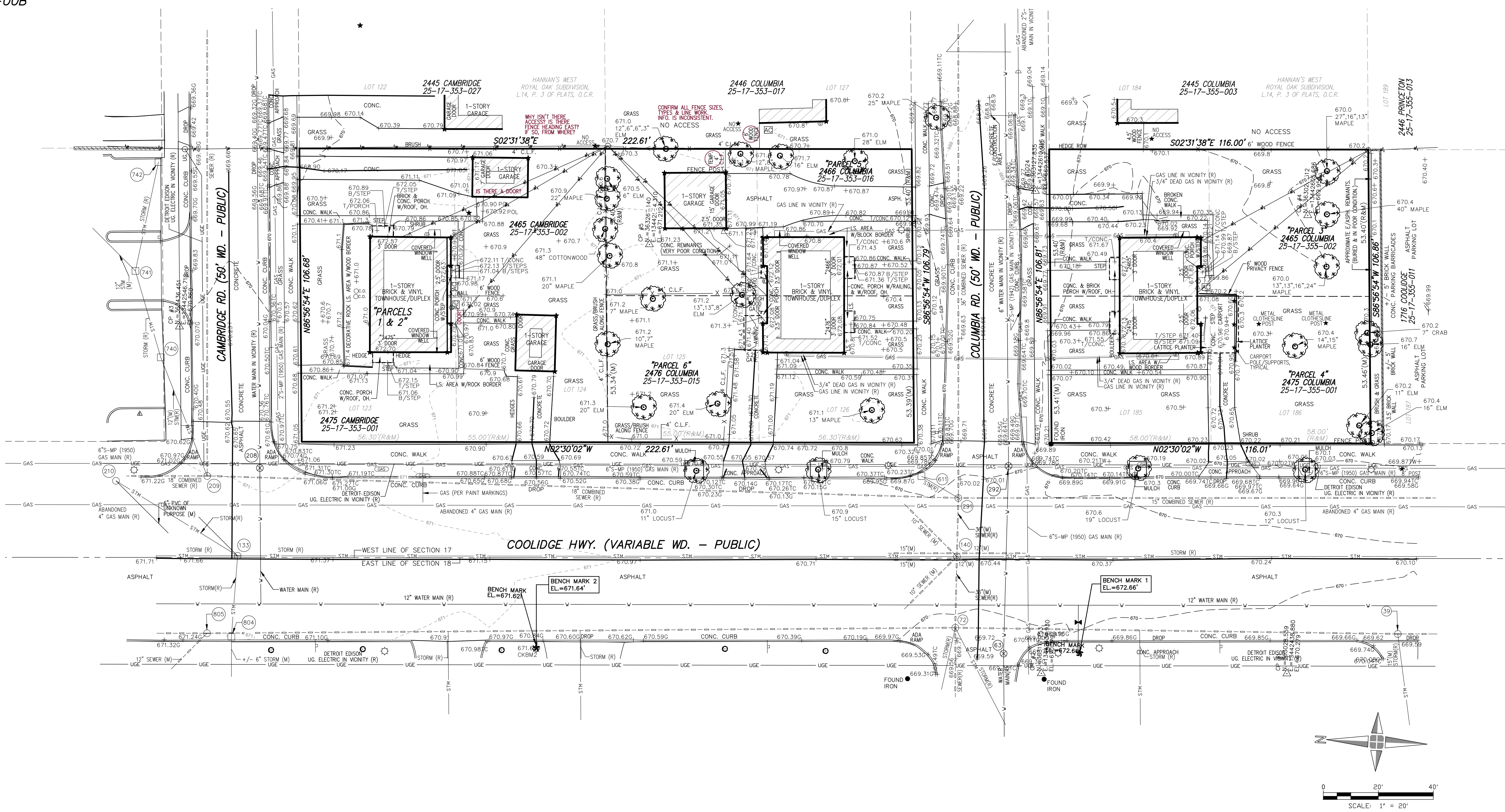
BENCH MARK 2
SE BOLT IN A LIGHT POLE BASE, LOCATED ON THE WEST SIDE OF COOLIDGE HIGHWAY, +/- 3 FEET OFF OF THE BACK OF CURB, AND +/- 150 FEET NORTH OF COLUMBIA ROAD.
ELEVATION=671.64'
(SHOWN GRAPHICALLY)

NOTES:

- SURVEY IN ACCORDANCE WITH TITLE COMMITMENT NO. 21223250-LP, ISSUED BY BELL TITLE AGENCY, DATED AUGUST 17, 2021
- TELEPHONE, CABLE TV, STEAM, AND PUBLIC LIGHTING UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- THE FOLLOWING WERE UTILIZED FOR THE REPRESENTATION OF CONDUIT, IN THIS DRAWING:
 - CONSUMERS ENERGY RECORD DRAWINGS.
 - GAS LEAD LOCATION SHOULD BE CONSIDERED AS APPROXIMATE. CONTACT MISS DIG TO LOCATE ALL CONDUIT, PRIOR TO CONSTRUCTION.
 - THE CITY OF BERKLEY WATER, SEWER, AND STORM RECORD DRAWING.
 - DUE TO THE SCHEMATIC NATURE OF THIS RECORD, PRECISE LOCATION OF CONDUIT CANNOT BE DETERMINED. CONDUIT LOCATION SHOULD BE CONSIDERED AS APPROXIMATE. CONTACT MISS DIG TO LOCATE ALL CONDUIT, PRIOR TO ANY CONSTRUCTION.
 - OLDER DETROIT EDISON RECORD DRAWINGS.
 - AS THESE RECORD DRAWINGS ARE NOT CURRENT, CONDUIT MAY EXIST, ALTHOUGH NOT DEPICTED. IN ADDITION, DUE TO THE SCHEMATIC NATURE OF THESE RECORDS, PRECISE LOCATION CANNOT BE DETERMINED. CONDUIT LOCATION SHOULD BE CONSIDERED AS APPROXIMATE. CONTACT MISS DIG TO LOCATE ALL CONDUIT, PRIOR TO ANY CONSTRUCTION.
 - OLDER LEVEL 3/CENTURY LINK DRAWING.
 - CONDUIT IS SHOWN, IN THIS RECORD, AS BEING OUTSIDE OF THE SCOPE OF THIS DRAWING. HOWEVER, AS THIS RECORD DRAWING IS NOT CURRENT, CONDUIT MAY EXIST, ALTHOUGH NOT DEPICTED. CONTACT MISS DIG TO LOCATE ALL CONDUIT, PRIOR TO ANY CONSTRUCTION.
- MEASURED BEARINGS ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH (2113), NAD83.
- SEE SHEET 2 FOR STRUCTURE LIST.



LOCATION MAP
(NOT TO SCALE)



giffels webster

Engineers
Surveyors
Planners
Landscape Architects

1025 East Maple Road
Suite 100
Birmingham, MI 48009
p (248) 852-3100
f (313) 962-5068
www.giffelswebster.com

Executive:	AW
Manager:	JKA
Designer:	JKA
Quality Control:	AW
Section:	25
T-03-N R-10-E	



DATE:	ISSUE:
07.21.2023	Submit PUD to City
08.25.2023	Submit #2 PUD to City
10.18.2023	Revised PUD to City
01.12.2024	ROW tree notes on Sht. LS-100

Developed For:
WJ VENTURES, LLC

2060 COOLIDGE HWY
BERKLEY, MI 48072

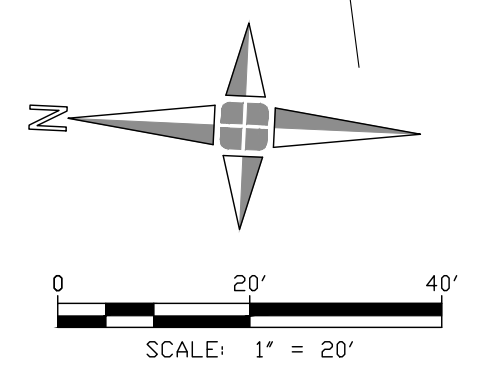
248-246-7878

TOPOGRAPHIC & BOUNDARY SURVEY

THE COLUMBIA

CITY OF BERKLEY
OAKLAND COUNTY
MICHIGAN

Date:	07.21.2023
Scale:	1" = 20'
Sheet:	C-2800
Project:	20388.00



NOT FOR CONSTRUCTION

Executive: AW
Manager: JKA
Designer: JKA
Quality Control: AW
Section: 25
T-03-N R-10-E

Professional Seal:



Know what's below.
Call before you dig.

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Developed For:

WJ VENTURES, LLC
2060 COOLIDGE HWY
BERKLEY, MI 48072
248-246-7878

SCHEDULE OF STRUCTURES
THE COLUMBIA

CITY OF BERKLEY
OAKLAND COUNTY
MICHIGAN

Date: 07.21.2023
Scale: N/A
Sheet: C-210
Project: 20388.00

SCHEDULE OF STRUCTURES

STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
39	STORM MANHOLE	CL. 15" CHANNEL	669.49	-12.23	657.26	NORTH & SOUTH. FLOWS NORTH.	
		15"	669.49	-7.14	662.35	WEST	
63	GATE VALVE	TVALVE	669.60	-3.48	666.12		
		18"	669.89	-13.50	656.39		
72	COMBINED MANHOLE	CL. 36" CHANNEL	669.89	-14.10	655.79	EAST & WEST. FLOWS EAST.	
		18"	669.89	-13.52	656.37	SOUTH	
		CL. 15" CHANNEL	671.51	-6.20	665.31	NORTH & SOUTH. FLOWS SOUTH.	
133	STORM MANHOLE	10"	671.51	-5.05	666.46	NORTHEAST	
		10"	671.51	-4.90	666.61	WEST	
		10"	670.46	-5.00	665.46	NORTHWEST	
140	SANITARY MANHOLE	15"	670.46	-6.80	663.66	NORTH	
		15"	670.46	-12.55	657.91	NORTH	
		10"	670.46	-5.30	665.16	NORTHEAST	
		CL. 36" CHANNEL	670.46	-14.90	655.56	EAST & WEST. FLOWS EAST.	
		12"	670.46	-6.60	663.86	SOUTH	
		12"	670.46	-12.20	658.26	SOUTH	
208	GATE VALVE	TVALVE	670.84	-4.05	666.79		
209	STORM MANHOLE	18"	671.01	-12.85	658.16	NORTH	
		12"	671.01	-9.60	661.41	EAST-NORTHEAST	
		18"	671.01	-12.25	658.76	EAST	
210	UNKNOWN MANHOLE	6" PVC	671.03	-3.77	667.26	SOUTHWEST	INVERT PLUS OR MINUS. HEAVILY OFFSET. NO OTHER PIPES VISIBLE. FULL OF WATER.
		18"	670.10	-13.85	656.25	NORTH	
291	SANITARY MANHOLE	12" PVC	670.10	-3.85	666.25	NORTHEAST	
		CL. 36" CHANNEL	670.10	-14.80	655.30	EAST & WEST	
		18"	670.10	-13.40	656.70	SOUTH	
		TWATER	669.74	-1.10	668.64		
292	GATE VALVE	TVALVE	669.74	-3.98	665.76		INVERT PLUS OR MINUS. UNABLE TO DEFINITELY DETERMINE TVALVE.
611	CATCH BASIN	12"	669.84	-3.32	666.52	SOUTHWEST	NO OTHER PIPES VISIBLE. FULL OF WATER.
740	CATCH BASIN	12"	670.33	-8.00	662.33	EAST-NORTHEAST	NO OTHER PIPES VISIBLE
		12"	670.31	-6.67	663.64	NORTHEAST	NO OTHER PIPES VISIBLE
741	CATCH BASIN	10"	670.31	-6.27	664.04	EAST	NO OTHER PIPES VISIBLE
		12"	670.31	-7.87	662.44	WEST-SOUTHWEST	NO OTHER PIPES VISIBLE
742	CATCH BASIN	10"	669.37	-3.78	665.59	WEST	24" DIAMETER STRUCTURE
804	CATCH BASIN	10"	670.97	-3.90	667.07	EAST. FLOWS EAST.	
		+/- 6"	670.97	-3.02	667.95	WEST	
805	STORM MANHOLE	12"	671.14	-12.30	658.84	NORTHWEST	
		18" CHANNEL	671.14	-13.18	657.96	NORTH & SOUTH. FLOWS SOUTH.	

PROPERTY DESCRIPTION

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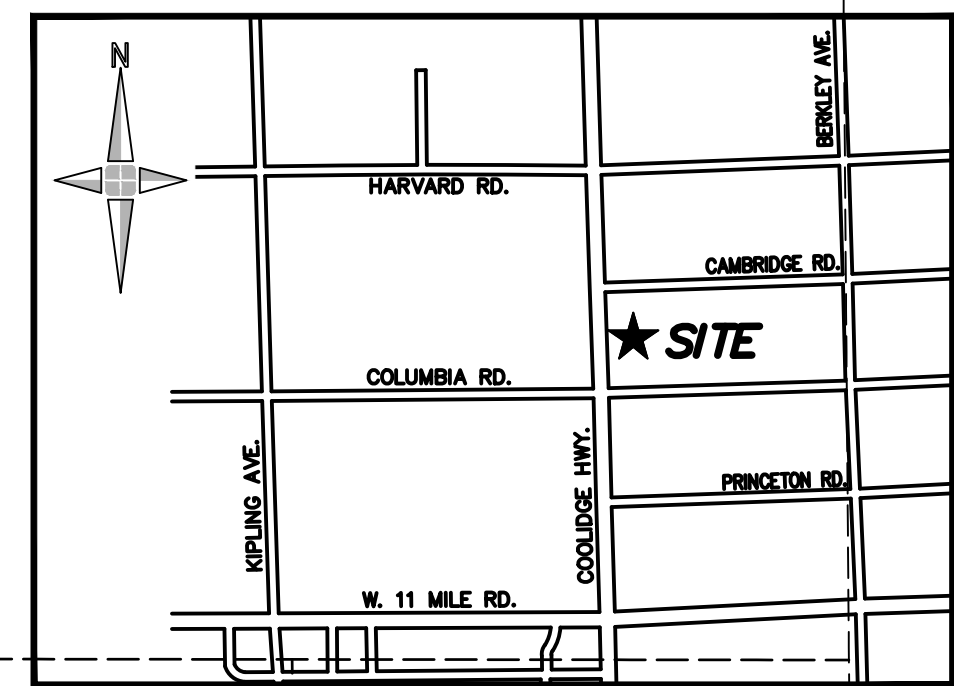
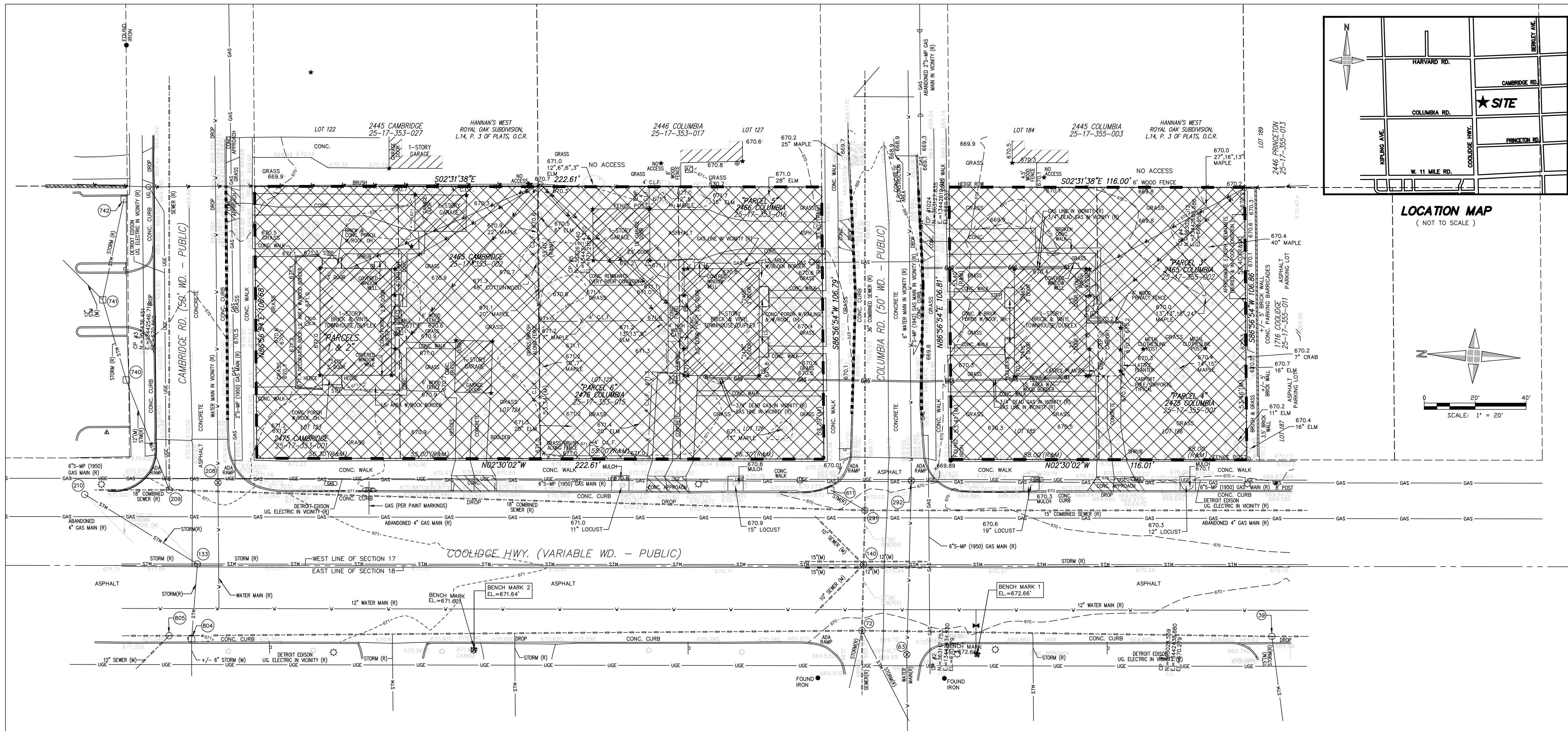
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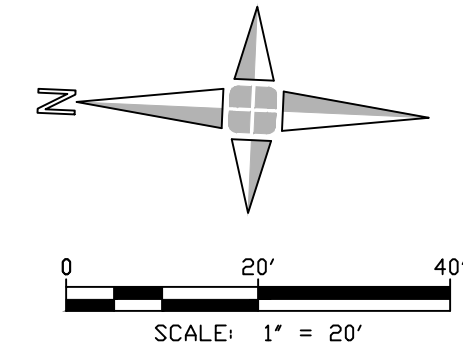
SCHEDULE B - II. EXCEPTIONS

(PER TITLE COMMITMENT NO. 21223250-LP, ISSUED BY BELL TITLE AGENCY, DATED AUGUST 17, 2021)

NO SCHEDULE B - II. EXCEPTIONS, LISTED.



LOCATION MAP
(NOT TO SCALE)



DEMOLITION NOTES:

- CONTRACTOR TO REMOVE ALL ITEMS WITHIN THE DEMOLITION AREAS.
- TREES TO BE CUT, REMOVED FROM SITE AND STUMPS REMOVED, NOT GROUND IN PLACE.
- BUILDINGS TO BE COMPLETELY REMOVED INCLUDING ALL FOUNDATIONS.
- CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES FOR PROPER SHUT OFF, DECOMMISSIONING, BULK-HEADING, ETC. OF ALL PUBLIC AND PRIVATE UTILITIES OR ARRANGE FOR REROUTING OF UTILITIES.
- CONTRACTOR TO WORK WITH CITY DPW FOR SHUTOFF, BULK-HEADING, AND ABANDONING OF ALL PUBLIC UTILITIES AND SERVICE LEADS.
- ALL REMOVED MATERIAL SHALL BE DISPOSED OF OFF SITE AND AT AN APPROVED FACILITY.
- MissDig Design Ticket Number B012982740-00B

DEMOLITION LEGEND:

- - - - - - REMOVE EXISTING CURB
- [Hatched Box] DEMOLITION AREA
- [Diagonal Line Box] REMOVE CONCRETE SURFACE

giffels webster

Engineers
Surveyors
Planners
Landscape Architects

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Suite 100
Birmingham, MI 48009
p (248) 852-3100
f (313) 962-5068
www.giffelswebster.com

Executive:	AW
Manager:	JKA
Designer:	JKA
Quality Control:	AW
Section:	25
T-03-N R-10-E	

Professional Seal:

811

Know what's below.
Call before you dig.

DATE:	ISSUE:
07.21.2023	Submit PUD to City
08.25.2023	Submit #2 PUD to City
10.18.2023	Revised PUD to City
01.12.2024	ROW tree notes on Sit. LS-100

Developed For:

WJ VENTURES, LLC

2060 COOLIDGE HWY
BERKLEY, MI 48072

248-246-7878

DEMOLITION PLAN

THE COLUMBIA

CITY OF BERKLEY
OAKLAND COUNTY
MICHIGAN

Date:	07.21.2023
Scale:	1" = 20'
Sheet:	C-300
Project:	20388.00

Executive:	AW
Manager:	JKA
Designer:	JKA
Quality Control:	AW
Section:	25
T-03-N R-10-E	



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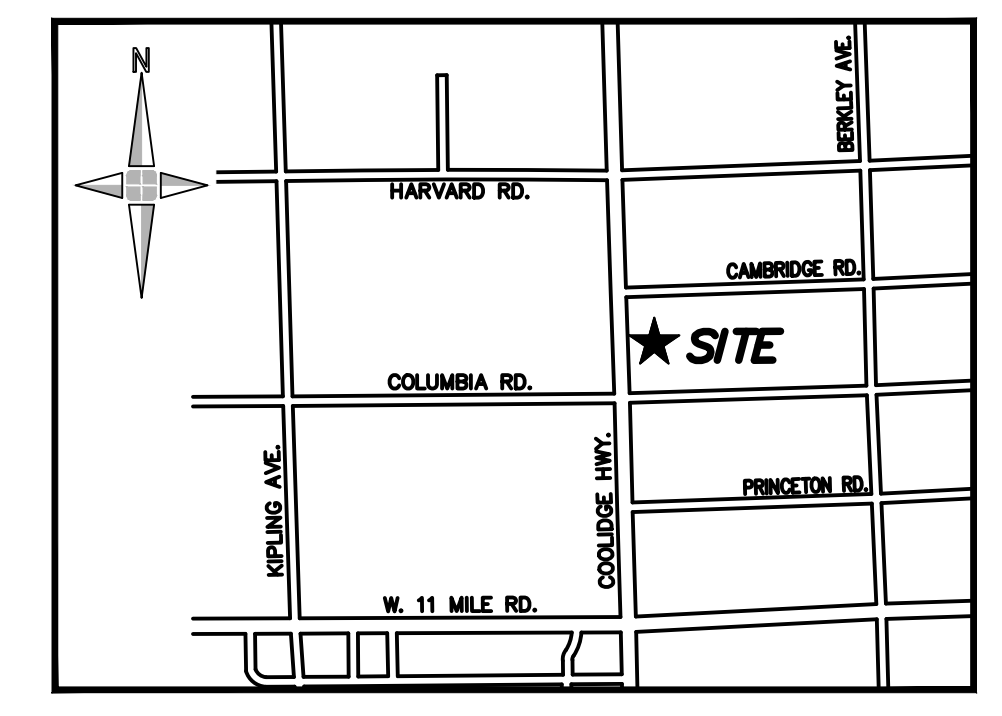
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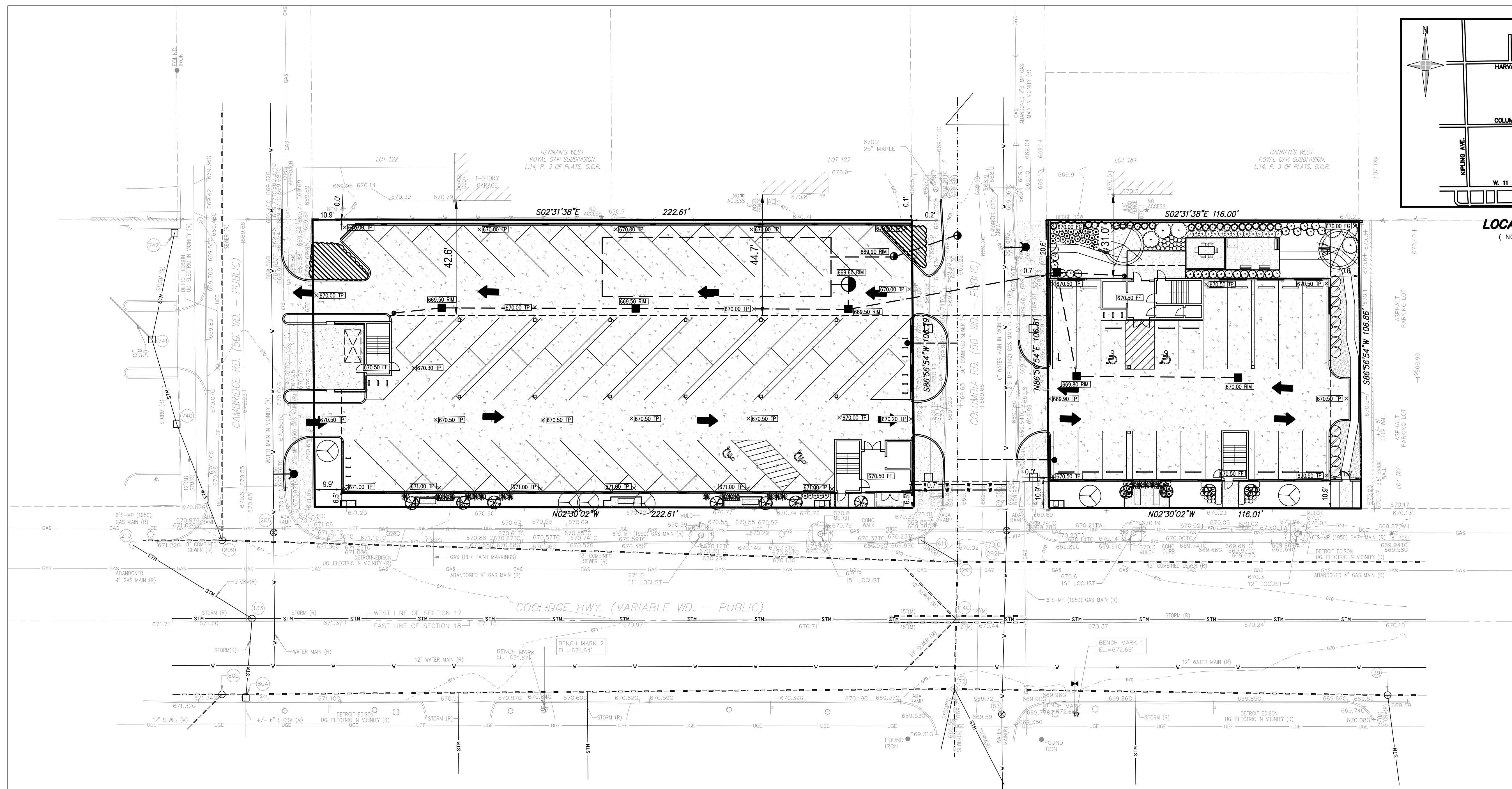
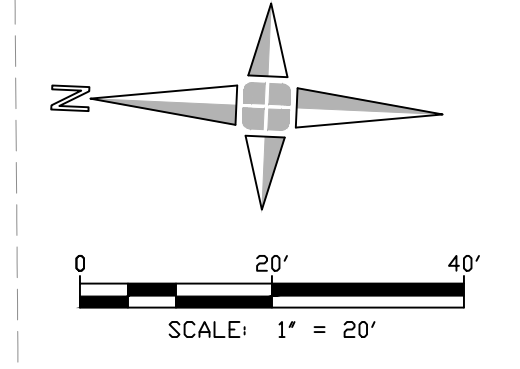
GRADING and PAVING PLAN

THE COLUMBIA

Date:	07.21.2023
Scale:	1" = 20'
Sheet:	C-600
Project:	20388.00



LOCATION MAP
(NOT TO SCALE)



LEGEND

- 670.00 TP PR TOP OF PAVEMENT ELEV.
- 670.00 FG PR FINISHED GRADE ELEV.
- PR 8" CONCRETE PAVEMENT
- PR 6" CONCRETE PAVEMENT
- PR 4" CONCRETE PAVEMENT

Executive:	AW
Manager:	JKA
Designer:	JKA
Quality Control:	AW
Section:	25
T-03-N R-10-E	



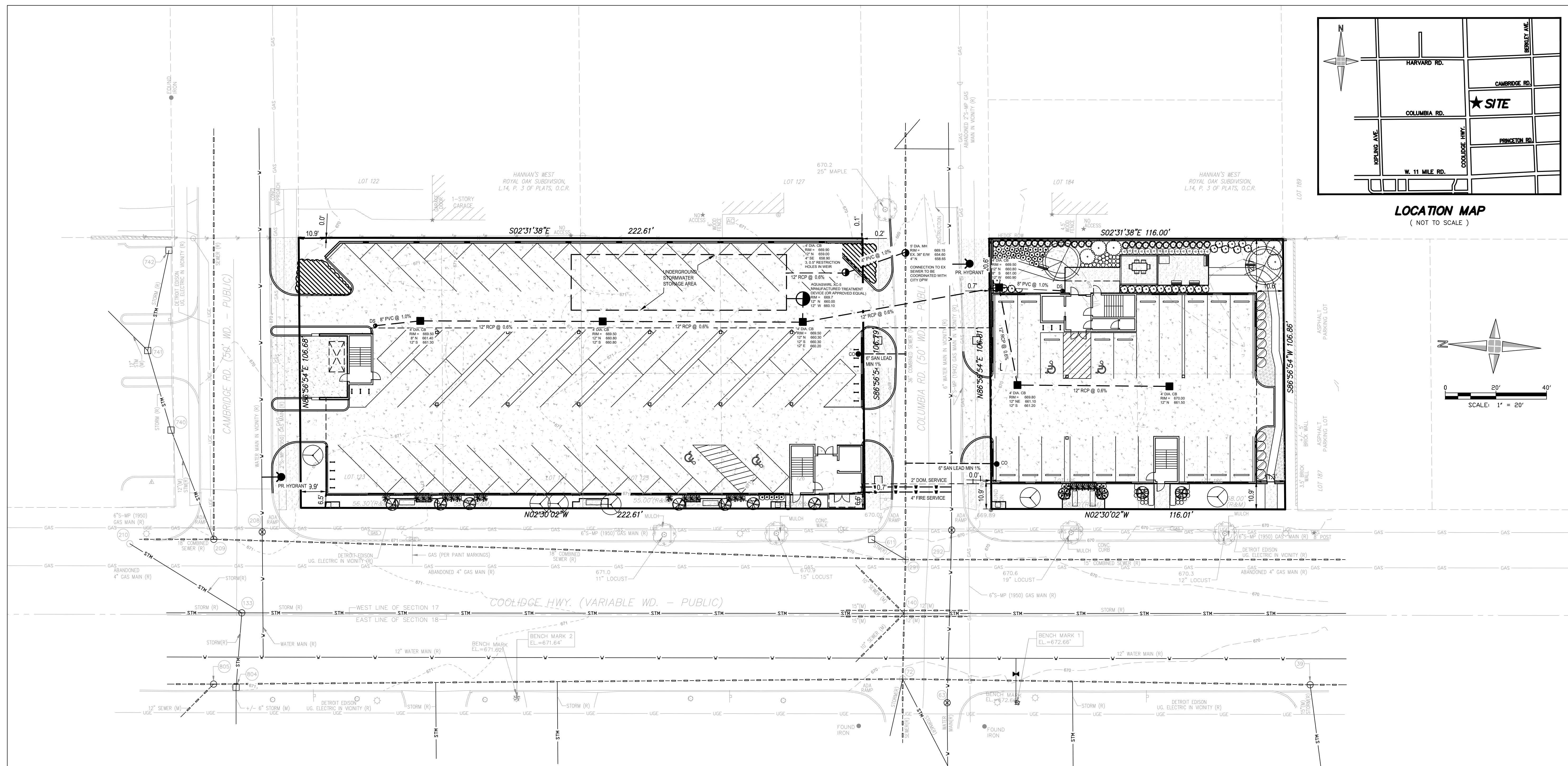
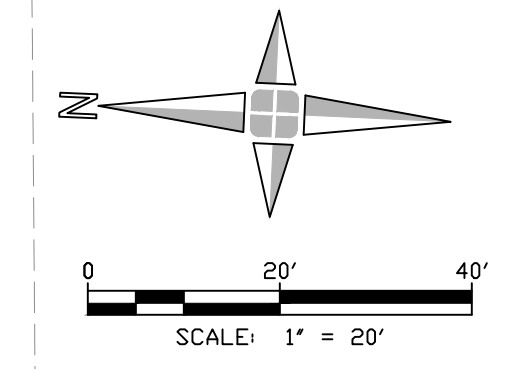
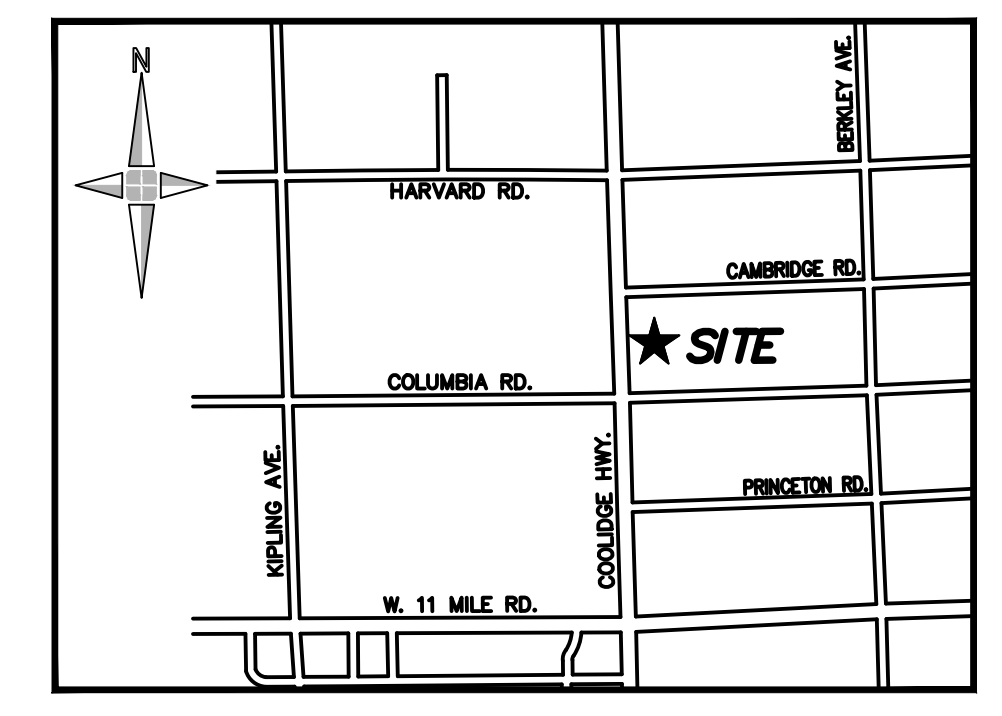
DATE	ISSUE
07.21.2023	Submit PUD to City
08.25.2023	Submit #2 PUD to City
10.18.2023	Revised PUD to City
01.12.2024	ROW tree notes on Sit. LS-100

Developed For:
WJ VENTURES, LLC
2060 COOLIDGE HWY
BERKLEY, MI 48072
248-246-7878

UTILITY PLAN
THE COLUMBIA

CITY OF BERKLEY
OAKLAND COUNTY
MICHIGAN

Date:	07.21.2023
Scale:	1" = 20'
Sheet:	C-700
Project:	20388.00



SITE CIVIL NOTES OF INTENT

- GRADING AND SESC: ALL GRADING AND SOIL EROSION & SEDIMENTATION CONTROL MEASURES WILL BE IMPLEMENTED AND STRICTLY ENFORCED THROUGHOUT CONSTRUCTION.
- SANITARY SERVICE: ALL EXISTING SANITARY SERVICES ARE PROPOSED TO BE ABANDONED VIA A SPOT LINER OR ANOTHER DPW APPROVED METHOD, WITHIN 2' OF THE MAIN. NEW SANITARY LEADS WILL BE INSTALLED AND CONNECTED WITH TWISTEE SEWER SADDLE PER DPW.
- WATER SERVICE: THE EXISTING WATER SERVICES WILL BE REMOVED TO THE CITY STOP BOXES OR PER DPW DIRECTION. A NEW DOMESTIC SERVICE WILL BE CONNECTED AND INSTALLED TO THE BUILDING. THE BUILDING WILL BE FIRE SUPPRESSED AND HAVE A SEPARATE FIRE SERVICE LEAD INSTALLED.
- STREETS WILL BE RESTORED THAT ARE ASSOCIATED WITH UTILITY WORK.
- A TRAFFIC CONTROL PLAN WILL BE COORDINATED WITH CITY AND ADDED TO CONSTRUCTION PLANS FOR REVIEW AND APPROVAL.
- APPLICANT WILL COORDINATE / DISCUSS WITH CITY ON ANY ADDITIONAL UTILITY IMPROVEMENTS.
- ADDITIONAL FIRE HYDRANTS ARE PROPOSED TO PROVIDE APPROPRIATE FIRE COVERAGE.
- STORMWATER MANAGEMENT:
 - THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER STORMWATER ENGINEERING DESIGN STANDARDS, UPDATED 11/22/2021, WILL BE FOLLOWED FOR PROPER DESIGN REQUIREMENTS. AND THE DESIGNED STORAGE WILL MEET OCWRC STANDARDS.
 - THIS SITE WILL ALSO UTILIZE A MECHANICAL TREATMENT DEVICE TO CAPTURE FLOATABLES AND FILTER OUT SEDIMENT. THIS UNIT WILL HAVE NJDEP CERTIFICATION.
 - THE PROPOSED OUTLET CONTROL STRUCTURE WILL BE RESTRICTED AND DEWATER WITHIN ALLOWABLE TIMES.

STORMWATER SYSTEM NOTE:

STORMWATER MANAGEMENT SYSTEM WILL BE A PRIVATE SYSTEM UNDER THE MAINTENANCE OF THE PROPERTY OWNER. A MAINTENANCE AGREEMENT BETWEEN OWNER AND CITY OF BERKLEY WILL BE PROVIDED ONCE PLAN IS APPROVED. ALL NECESSARY EXHIBITS WILL BE INCLUDED WITH THE AGREEMENT.

LEGEND

- PR STORM SEWER
- PR STORM CATCH BASIN
- PR OUTLET CONTROL STRUCTURE
- PR MANUFACTURED TREATMENT DEVICE
- EX SANITARY LEAD
- EX WATER SERVICE
- FIRE HYDRANT

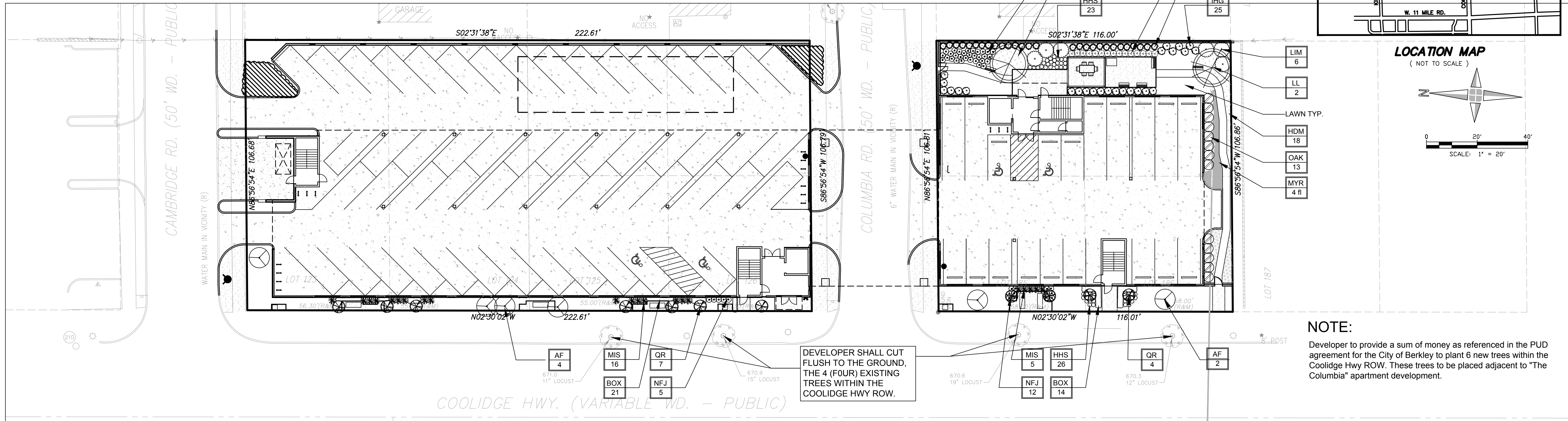
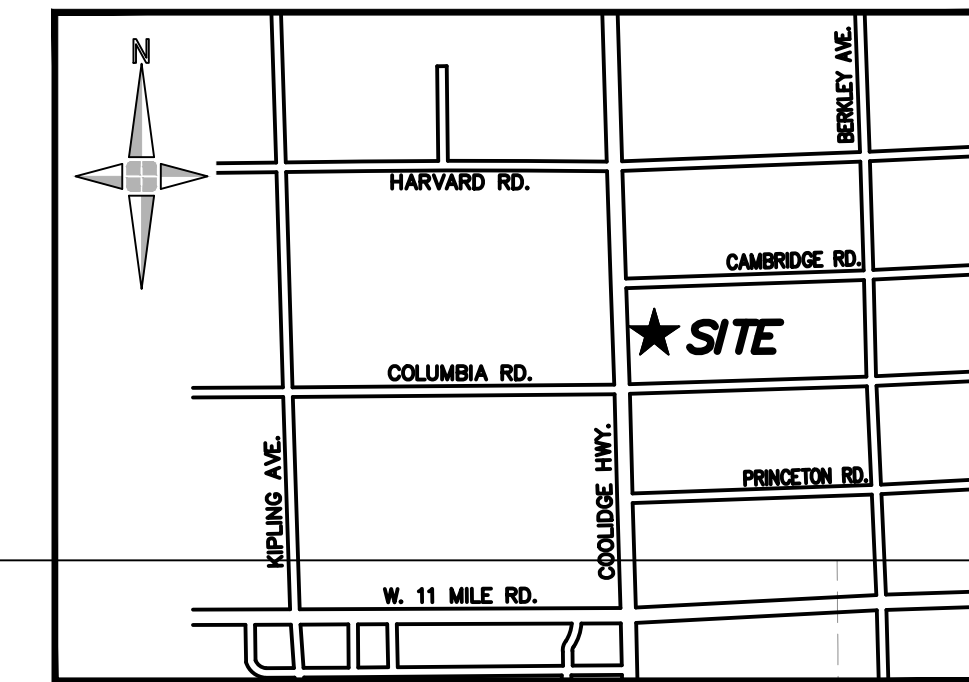
GENERAL NOTES:

- All Construction shall conform to the current standards and specifications of local ordinances.
- All areas not built, landscaped, or paved upon shall be seeded or sodded. Terra seed system or approved equal is encouraged.
- All lawn areas shall be irrigated with an underground automatic irrigation system. Irrigation heads shall be placed such that water will not hit any hard surfaces or structures.
- Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit. This is the first of two (1 of 2) required City inspections of the Landscape Plan installation.
- A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
- Building Department will not release construction bonds until City landscape architect has inspected the site and approved the installation of landscape plans. Final bond will not be released until the two (2) year guarantee expires and final inspection is made.
- Owner is then responsible for care and maintenance of all plants upon return of bonds. All plant material is to be maintained for the natural life of the plant. No removal of any plants material is permitted without replacement.
- Contractors must maintain 10 feet minimum between fire hydrants and any proposed tree plantings.
- If construction leads to the demise of any trees by roots being cut on adjacent property, replacement to be facilitated by property owner.

LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant material, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

Landscape Contractor will sufficiently water all plant material located in the Meadow Lawn area that is not irrigated through an automatic system to establish healthy root systems of the shrubs, plugs, and seedlings under this two-year Irrigation Requirement Period.



NOTE:
Developer to provide a sum of money as referenced in the PUD agreement for the City of Berkeley to plant 6 new trees within the Coolidge Hwy ROW. These trees to be placed adjacent to "The Columbia" apartment development.

PLANT NOTES:

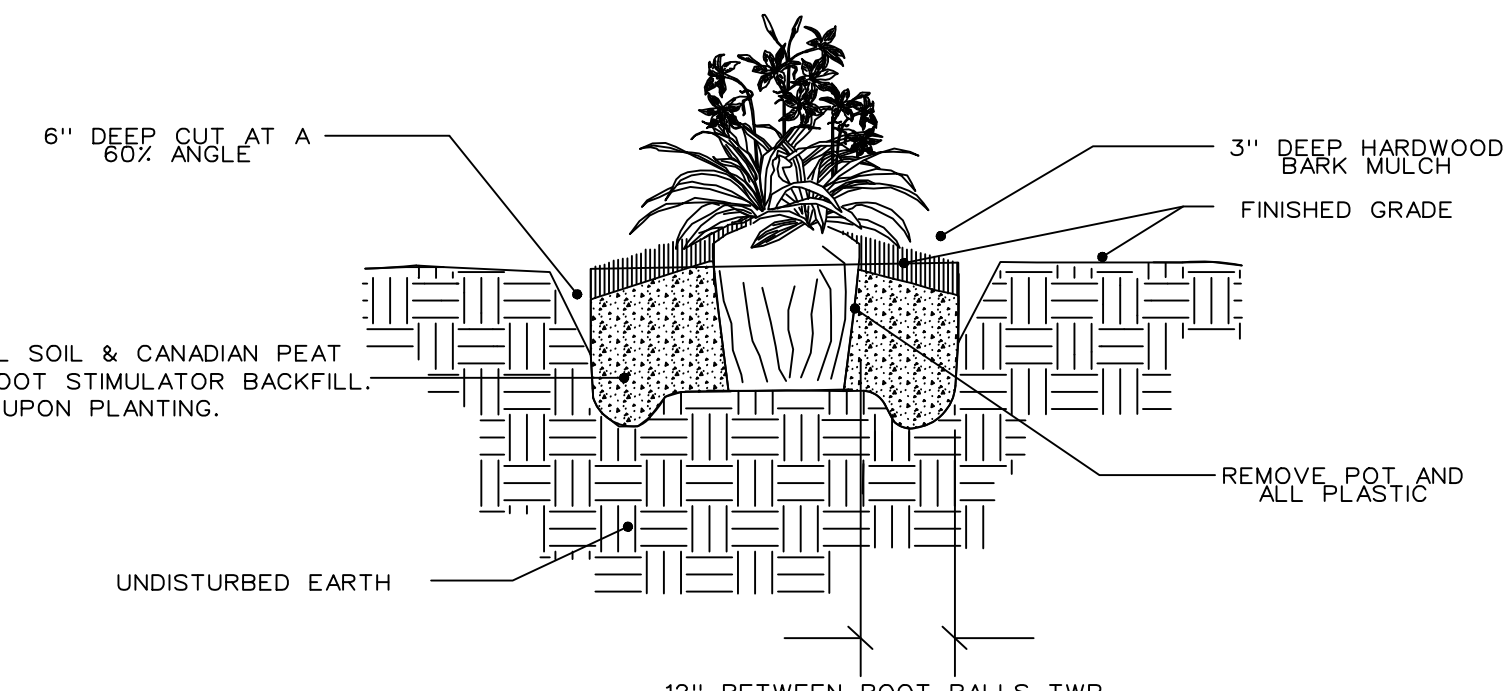
- Plant materials shall be sound, healthy vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004.)
- Planting bed soil for annuals shall be screened topsoil. To deter weed growth during the establishment of annual, & perennial bed, apply a pre-emergent ("Preen" or equal) after planting 2-3 times per growing season, at a rate per recommendation of product manufacturer.
- Planting pockets shall be no deeper than the height of the root ball, saucer shall be made on the edges of the plant pocket.
- All tree wrap shall be removed upon planting.
- Mulch shall be shredded hardwood bark natural in color, free from deleterious materials and suitable as a top dressing of planting beds and individual tree plantings.
- Trees shall be mulched with minimum of 4" deep hardwood bark mulch.
- Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn.
- Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to the expiration of the guarantee period, in accordance with the local ordinance requirements. Failing plants should be replaced within 3 months of failing.
- Contractor shall provide in writing a list of recommended maintenance procedures for the first two (2) growing seasons.
- Remove top 1/3 of burlap on root ball or all if wrapped in plastic covering and/or nylon cord.
- Plant materials shall be used in compliance with the provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the standards of the American Association of Nurserymen, and shall have passed inspections required under state regulations. In addition, plant materials shall be Upper Midwest/Great Lakes grown, No. 1 grade.
- Plant materials shall be planted within the annual planting window of March 15-Nov 15.
- Any plant substitutions must be approved in writing by the City prior to installation.
- Any plant materials shown on rooftop of building are seasonal and within temporary containers.

PLANT SCHEDULE

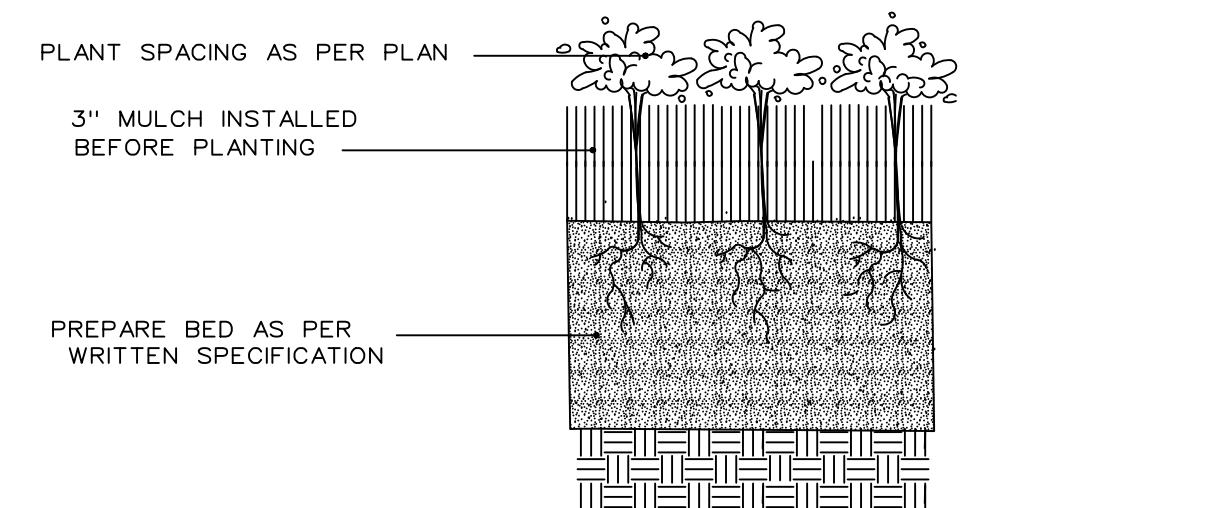
SYMBOL	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AF	AF	6	Acer x freemanii 'Armstrong'	ARMSTRONG MAPLE	3" cal.	B&B.
QR	QR	11	Quercus robur 'Fastigiata'	COLUMNAR ENGLISH OAK	3" cal.	B&B.
LL	LL	2	Tilia cordata	LITTLE LEAF LINDEN	3" cal.	B&B.
LIM	LIM	6	Hydrangea 'Limelight'	LIMELIGHT HYDRANGEA	5 gal.	CONTAINER
NFJ	NFJ	48	Nepeta x faassenii Junior Walker	JUNIOR WALKER CATMINT	1 gal.	CONTAINER
MIS	MIS	21	Miscanthus sinensis 'Morning Light'	MORNING LIGHT MAIDEN GRASS	3 gal.	CONTAINER
BOX	BOX	35	Buxus 'Green Velvet'	GREEN VELVET BOXWOOD	3 gal.	CONTAINER
OAK	OAK	13	Hydrangea quercifolia 'Munchkin'	MUNCHKIN OAKLEAF HYDRANGEA	3 gal.	CONTAINER
TDS	TDS	28	Thuja 'Degroot's Spire'	DEGROOT'S SPIRE ARBORVITAE	6-7 HT	B&B
CFR	CFR	15	Calamagrostis arundancea var. brachytricha	FALL BLOOMING FEATHER REED GRASS	1 GAL	CONTAINER
IHG	IHG	25	Itea virginica 'Henry's Garnet'	VIRGINIA SWEETSPIRE	3 GAL	CONTAINER
HHS	HHS	49	Hemerocallis 'Stella d'oro'	STELLA D'ORO DAYLILY	1 GAL	CONTAINER
HDM	HDM	48	Hosta 'Dance With Me'	DANCE WITH ME HOSTA (MEDIUM VAR)	1 gal.	CONTAINER
MYR	MYR	4 FL	Vinca minor 'Bowlesii'	'BOWLES' MYRTLE	38 CELL PACK	PLANTED 12" O.C.

LAWN SEED MIX:

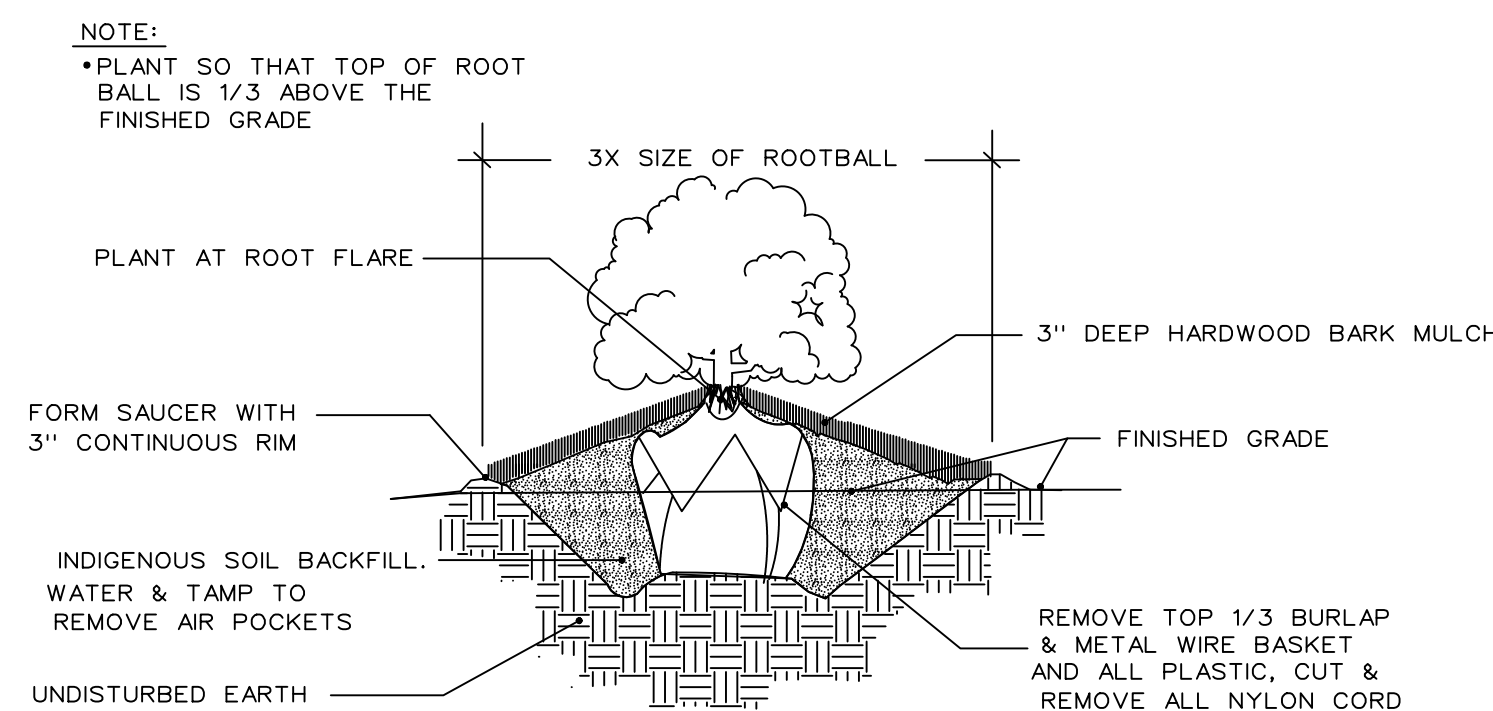
30% PERENNIAL RYGRASS
20% PARK KENTUCKY BLUEGRASS
45% CREEPING RED FESCUE
5% ANNUAL RYEGRASS
4-1/2/1000 S.F. SEEDING RATE



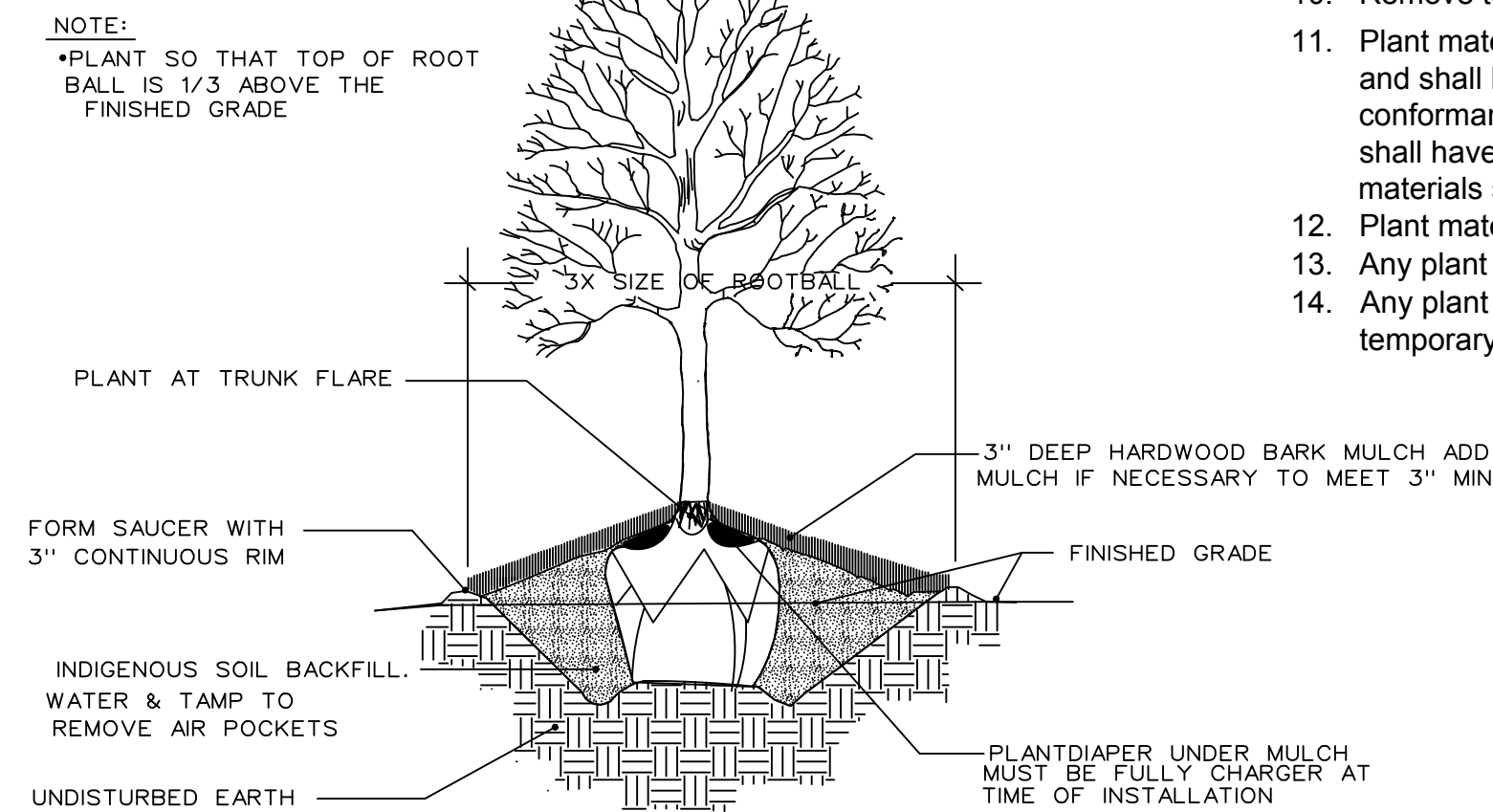
PERENNIAL PLANTING DETAIL
NO SCALE



GROUNDCOVER PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



TREE PLANTING DETAIL
NO SCALE

giffels webster

Engineers
Surveyors
Planners
Landscape Architects

1025 East Maple Road
Suite 100
Birmingham, MI 48009
p (248) 852-3100
f (313) 962-5068
www.giffelswebster.com

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Manager:	JKA
Designer:	JKA
Quality Control:	AW
Section:	25
T-03-N R-10-E	



DATE	ISSUE
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248-246-7878

LANDSCAPE PLAN

THE COLUMBIA

CITY OF BERKLEY
OAKLAND COUNTY
MICHIGAN

Date:	07.21.2023
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Sheet:	LS-100
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NOT FOR CONSTRUCTION

PARKING STUDY

PARKING COUNT	
SHARED SPACES	47
SITE PARKING	79
STREET PARKING	159
TOTAL	285



LEGEND

- AVAILABLE SHARED SPACES OWNED BY DEVELOPER
- SITE PARKING
- STREET PARKING

PARKING INFORMATION

- PARKING RATIO ABOVE 1.25 PER UNIT
- ASSIGNED PARKING
- GUEST/PARALLEL PARKING ON COOLIDGE
- NO EAST TURN ON SIDE STREETS
- EV CHARGERS (2) NOW- CONDUIT FOR 10 FUTURE CHARGERS
- BIKE RACKS FOR 12 BIKES
- STORMWATER SYSTEM UNDER EXTERIOR PARKING ROW
- SECURITY CAMERAS THROUGHOUT
- SOUTH WING LOWER LEVEL PARKING TO BE CONVERTED TO COMMERCIAL SPACE (FUTURE USE)
- POCKET PARK BEHIND THE SOUTH WING
- HEIGHT 40 FEET TO MID RISE.

SITE DATA

Regulation	Information
Parcel I.D.	...
Address	1916 Coolidge Hwy, Berkley MI 48072
Zoning	Gateway District
Parcel Area	45,466.2 SF (1.04 Acres)

ZONING SCHEDULE OF REGULATIONS

Regulation	Required for Gateway	Provided
Setbacks	Front: 10' or to adjacent build-to-line (0) Sides: 0' (none are required) Rear: 10'	Front: 5'-2" Sides: 10'-0" on South side Rear: 21'-3"
Building Height	40'-0"	40'-0" Midrise of Building
Coverage	n/a	n/a
Density	n/a	n/a

PARKING SUMMARY

Required Spaces Per 2023 Update Targets = 1.25 per Unit Number of proposed units = 57 * 1.25 = 71.25 (71) spaces.

Number of proposed Bicycle Spaces = 12

TOTAL REQUIRED: 71 SPACES
TOTAL PROVIDED: 80 SPACES

Parking Area: 26,847 S.F.
Standard spaces: 50
Compact Spaces: 13
Tandem Spaces: 7 x 2 = 14
Handicap Space: 3
Total Spaces : 80

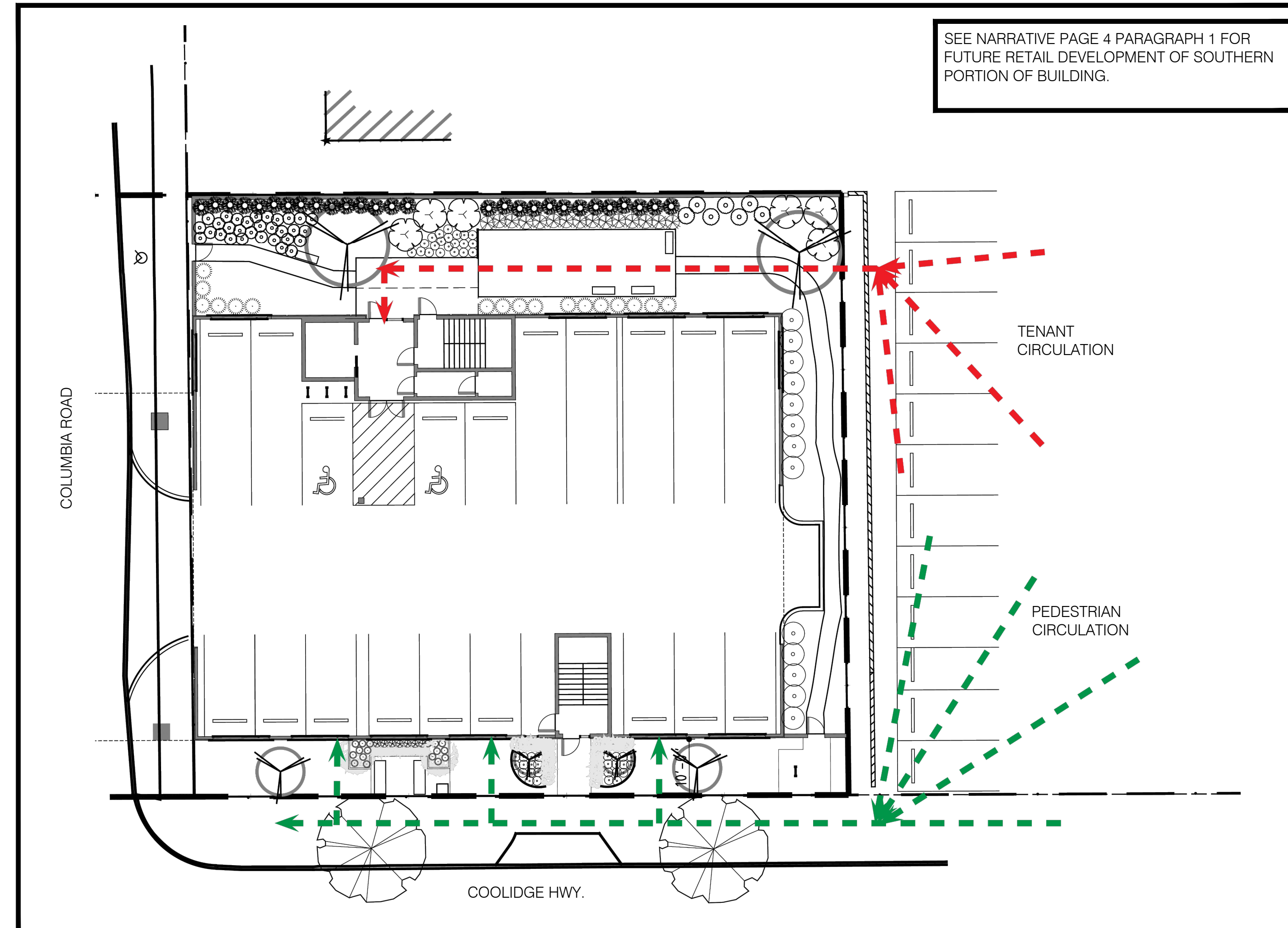
BUILDING SUMMARY

Main Floor	1,476 S.F.
Second Floor	20,351 S.F.
Third Floor	24,710 S.F.
Loft	4,669 S.F.
Total	52,685 S.F.

UNIT SUMMARY

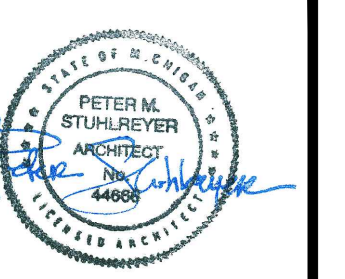
Studio with Balcony	7
Studio with Juliet Balcony	5
1 Bedroom with Balcony	14
1 Bedroom with Juliet Balcony	10
1 Bedroom with Juliet Balcony and Patio	4
Studio Loft and Patio	14
1 Bedroom Loft and Patio	3
Total	57

PROPOSED FUTURE DEVELOPMENT ACCESS CIRCULATION



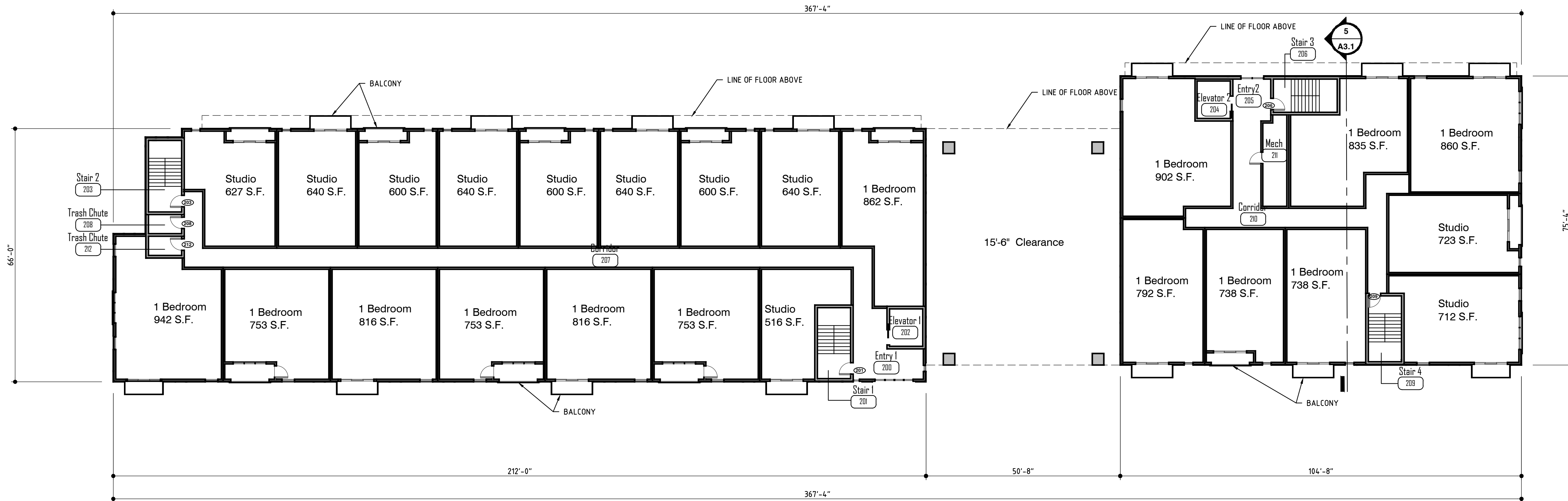
3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

ISSUANCE	DATE
PUD Submit #5	01/15/24
PUD Submit #4	10/13/23
PUD Submit #3	08/29/23
PUD Submit #2	08/25/23
PUD Submit	07/21/23



The Columbia
2465, 2475, 2486, 2476 Columbia and 2475, 2465 Cambridge St.
Berkley, MI 48072
Project Data

023010
A1.0



BUILDING SUMMARY

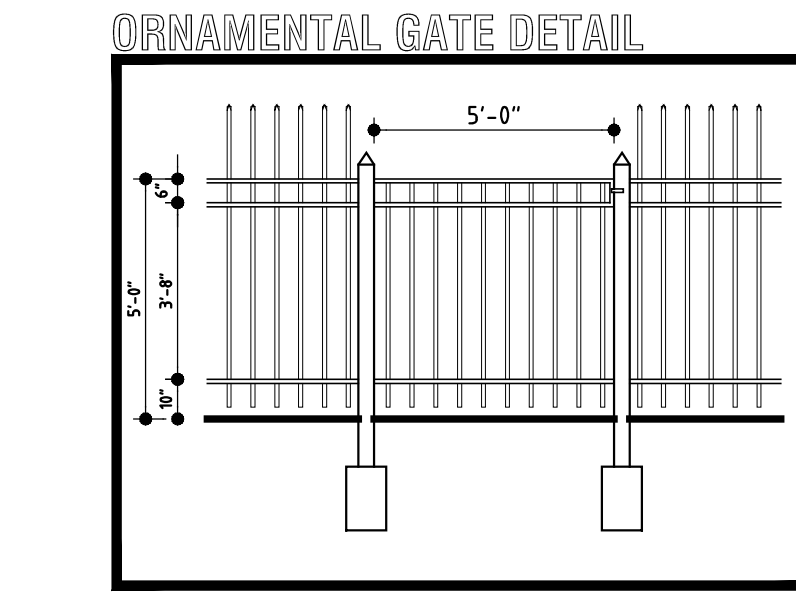
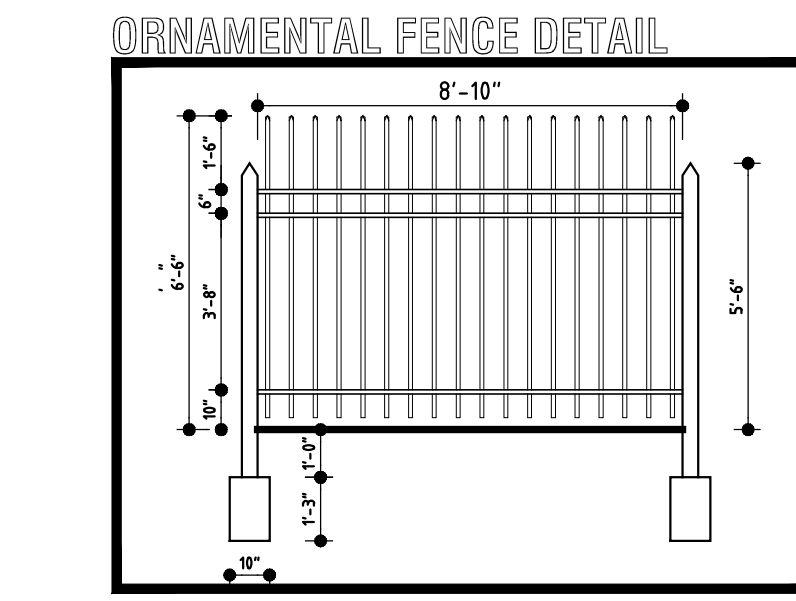
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Total	57

MISS DIG
MISS DIG TICKET NUMBER #B012982740-00B

SETBACK RELIEF
ANY PROJECTIONS OCCUR ABOVE 8' FROM GRADE. FRONT SETBACK RELIEF IS NEEDED, HOWEVER BASED ON AVERAGE FRONT SETBACKS, THIS SHOULD BE CONSIDERED.



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DESIGNHAUS EST 1998
ARCHITECTURE

ISSUANCE	DATE
PUD Submit #5	01/15/24
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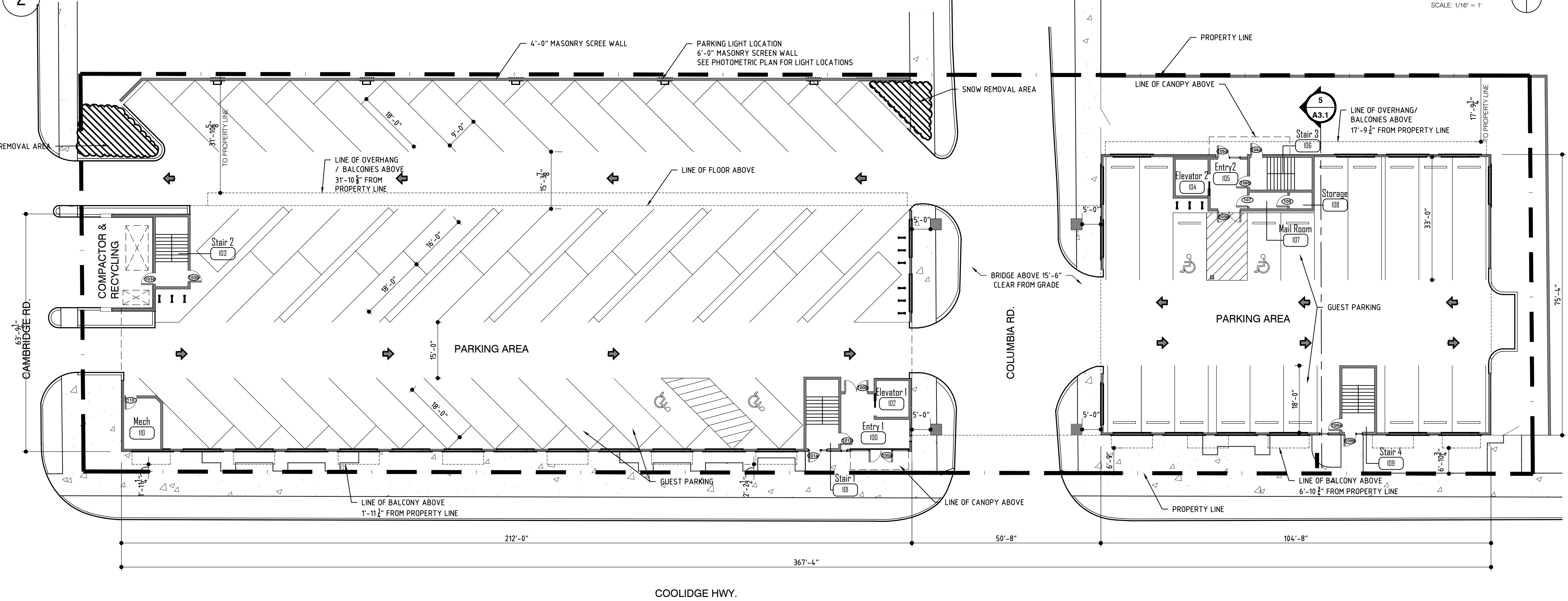


The Columbia
2465, 2475, 2466, 2476 Columbia and 2475, 2465 Cambridge St.
Berkley, MI 48072

Ground Floor Plan & Second Floor Plan

023010
A1.1

2 Second Floor Plan

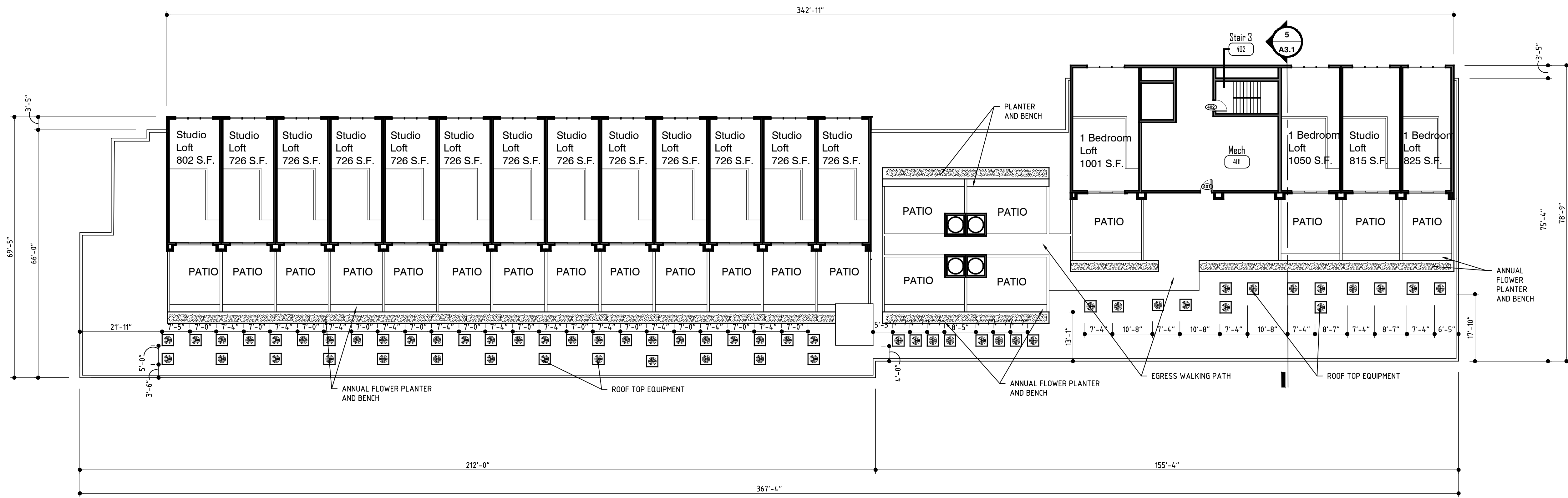


1 Ground Floor Plan

A1.1 First Floor Plan.dwg

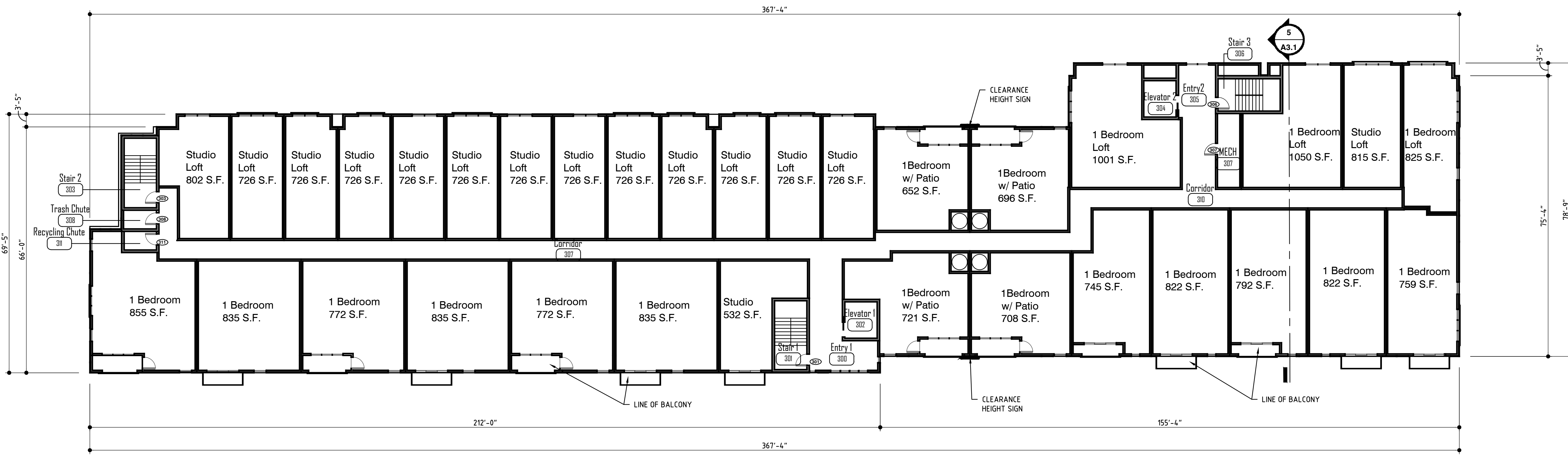
1/15/2024

User



2 Loft Mezzanine Plan

SCALE: 1/16" = 1'
NORTH



1 Third Floor Plan

SCALE: 1/16" = 1'
NORTH

BUILDING SUMMARY

Main Floor	1,476 S.F.
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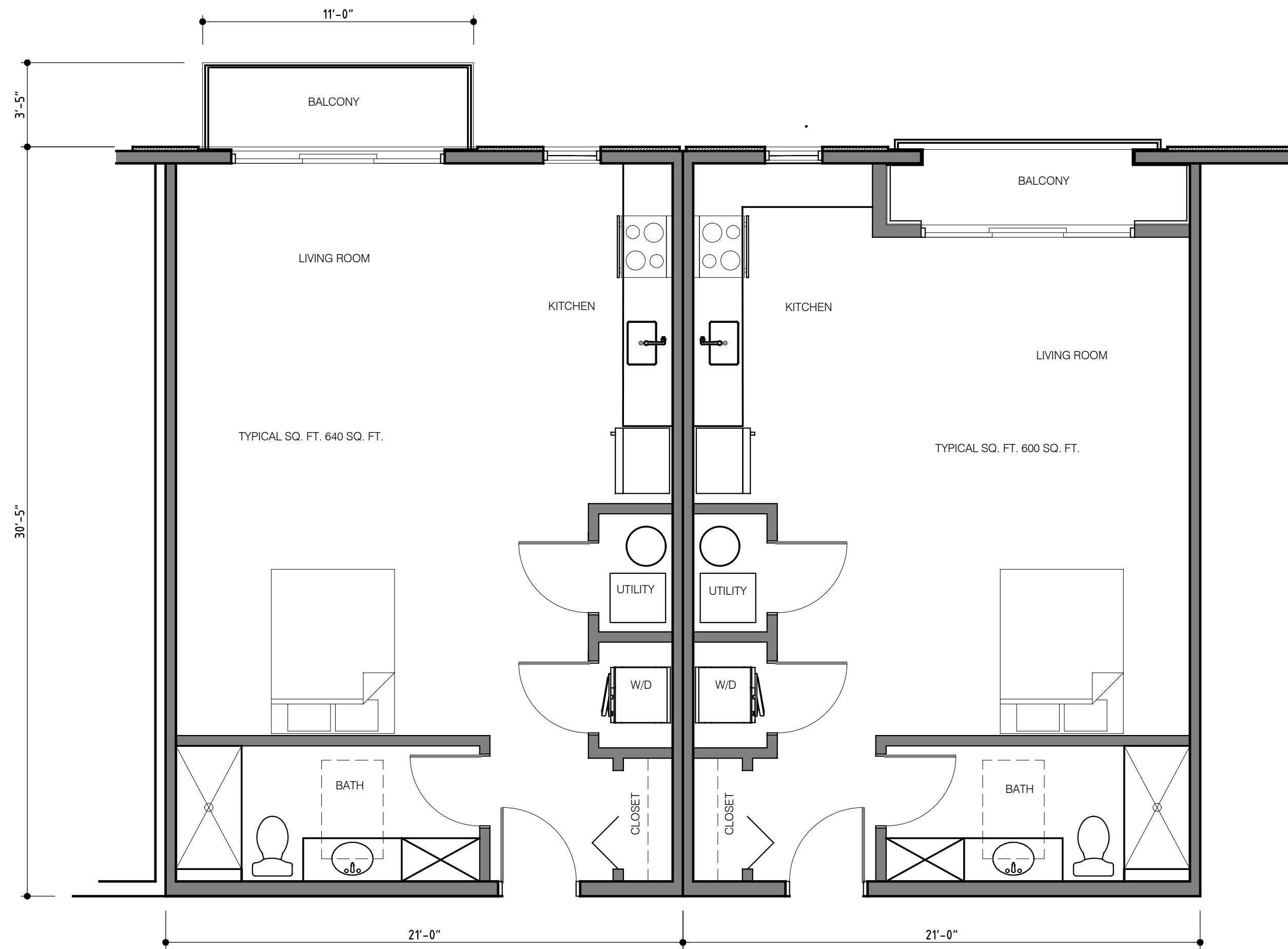
Third Floor Plan and Loft-Roof Plan

023010
A1.2

A1.2 Third Floor Plan and Loft-Roof Plan.dwg

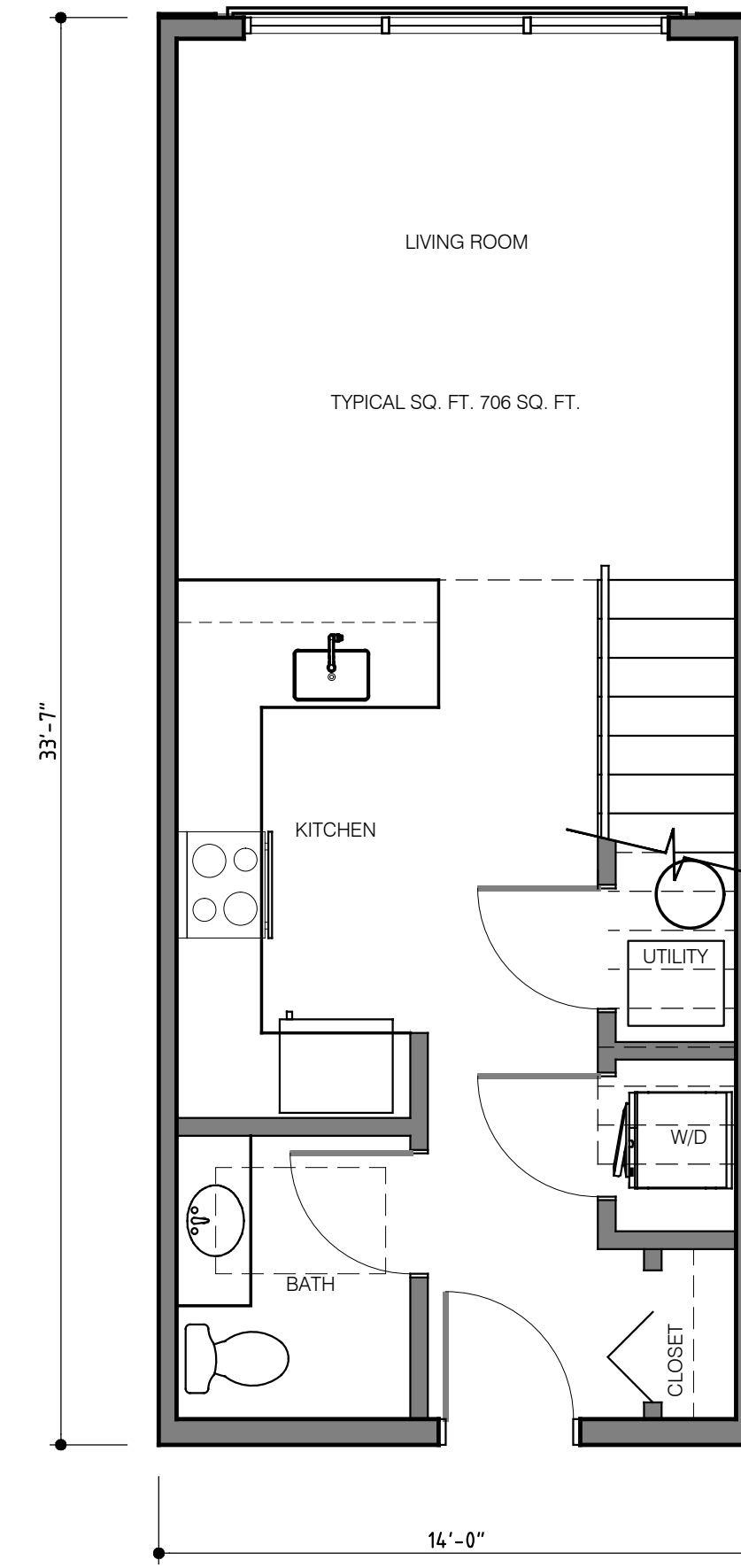
1/15/2024

User



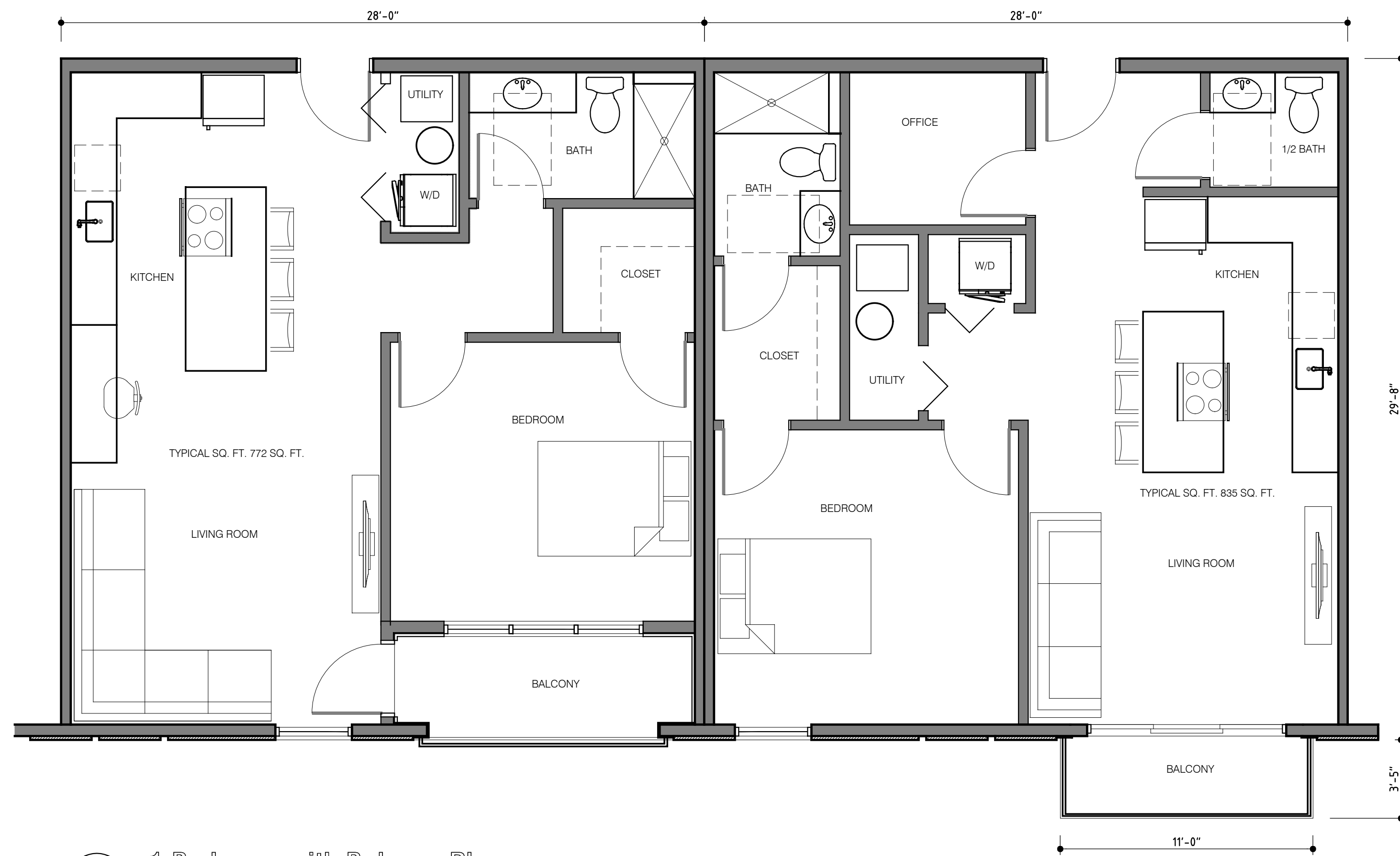
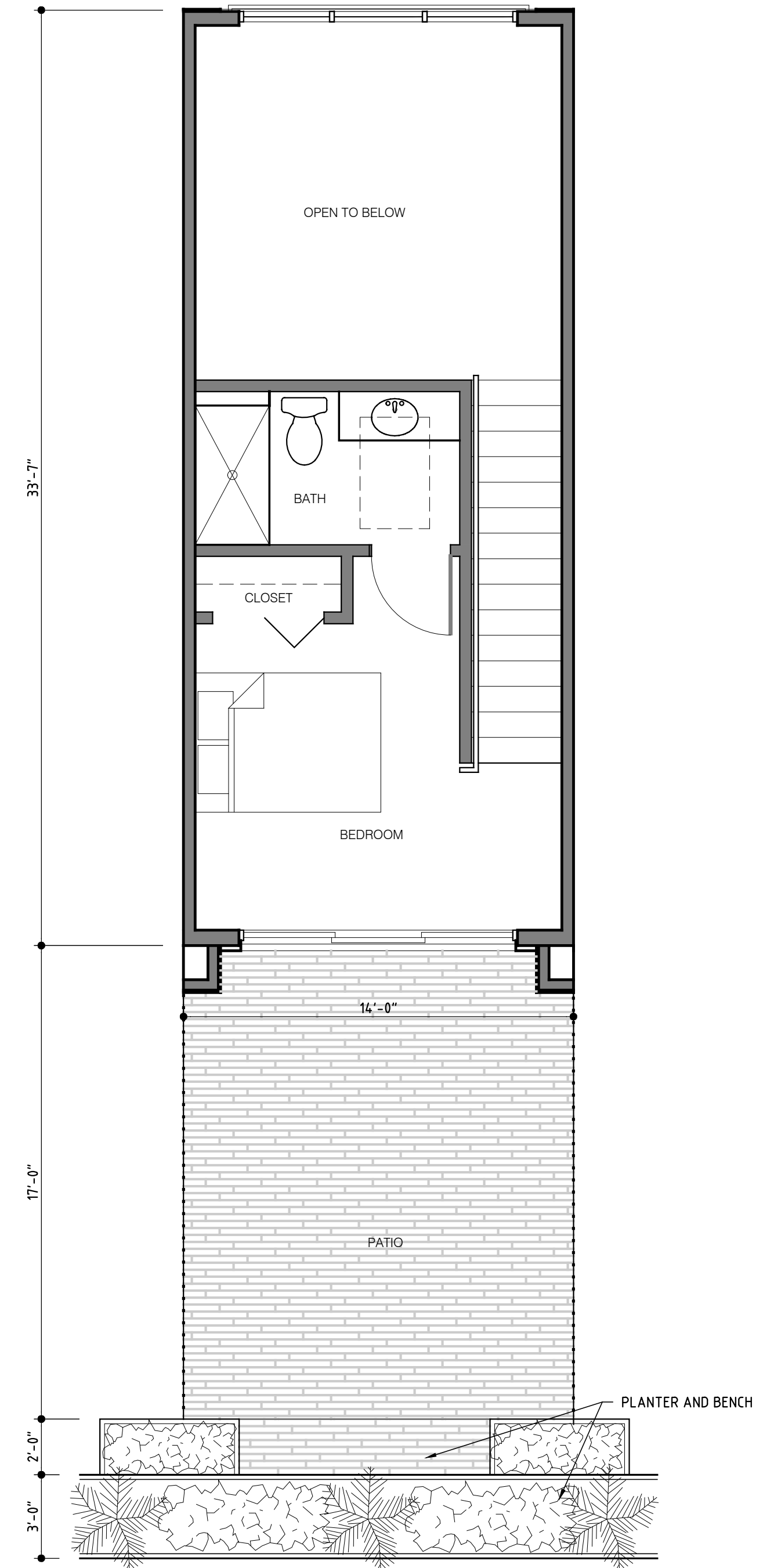
3 Studio with Balcony Plans

SCALE: 1/4" = 1'



1 Studio Loft Plan

SCALE: 1/4" = 1'



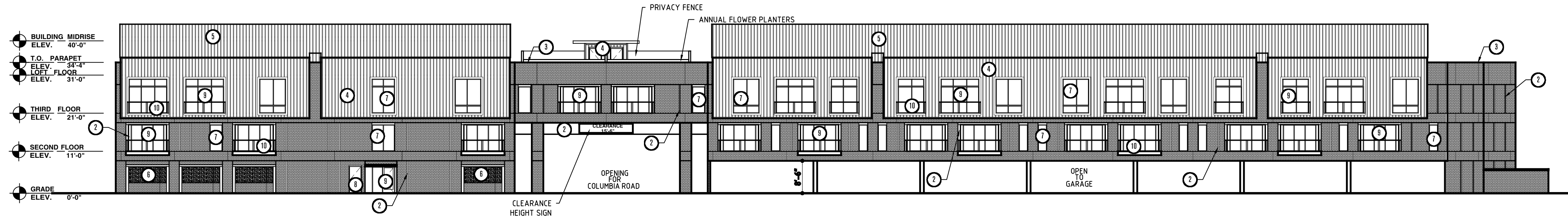
2 1 Bedroom with Balcony Plan

SCALE: 1/4" = 1'

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PUD Submit #5	01/15/24
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ISSUANCE	DATE

A2.1 Enlarged Plan.dwg
1/15/2024
Designhaus



4 EAST ELEVATIONS

SCALE: 1/16" = 1'

ELEVATION NOTES

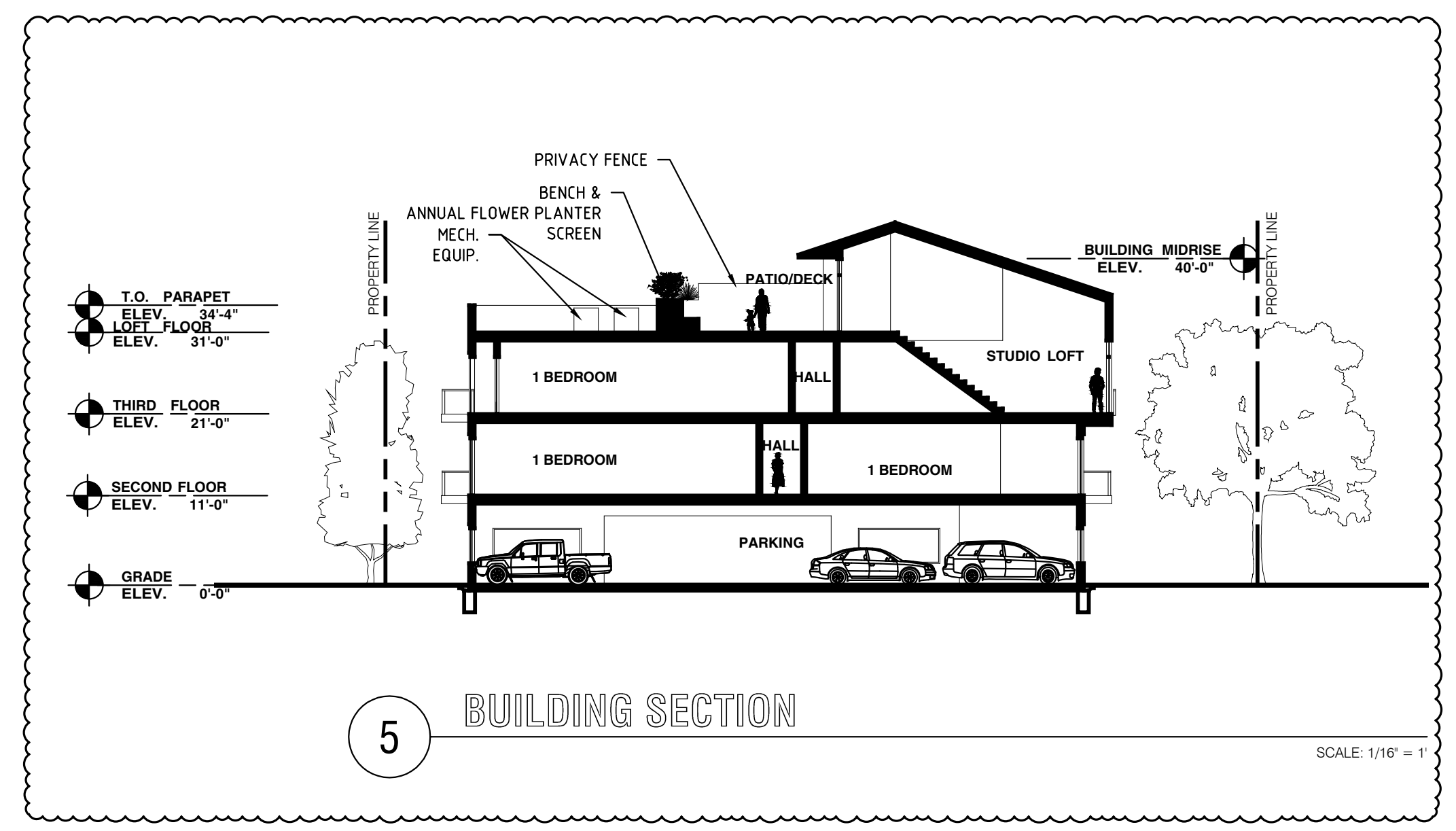
1	BRICK
2	BRONZE FLAT METAL PANEL
3	PREFINISHED ALUMINUM COPING
4	BROWN STANDING SEAM METAL SIDING
5	BROWN STANDING SEAM METAL ROOF
6	BRONZE METAL PATTERN SCREEN WALL
7	ALUMINUM CLAD WINDOWS
8	HOLLOW METAL DOOR
9	ALUMINUM CLAD DOOR
10	METAL AND GLASS BALCONY RAILING

TRANSPARENCY PERCENTAGE

TRANSPARENCY PERCENTAGE OF THE COOLIDGE HIGHWAY ELEVATION IS 40%.

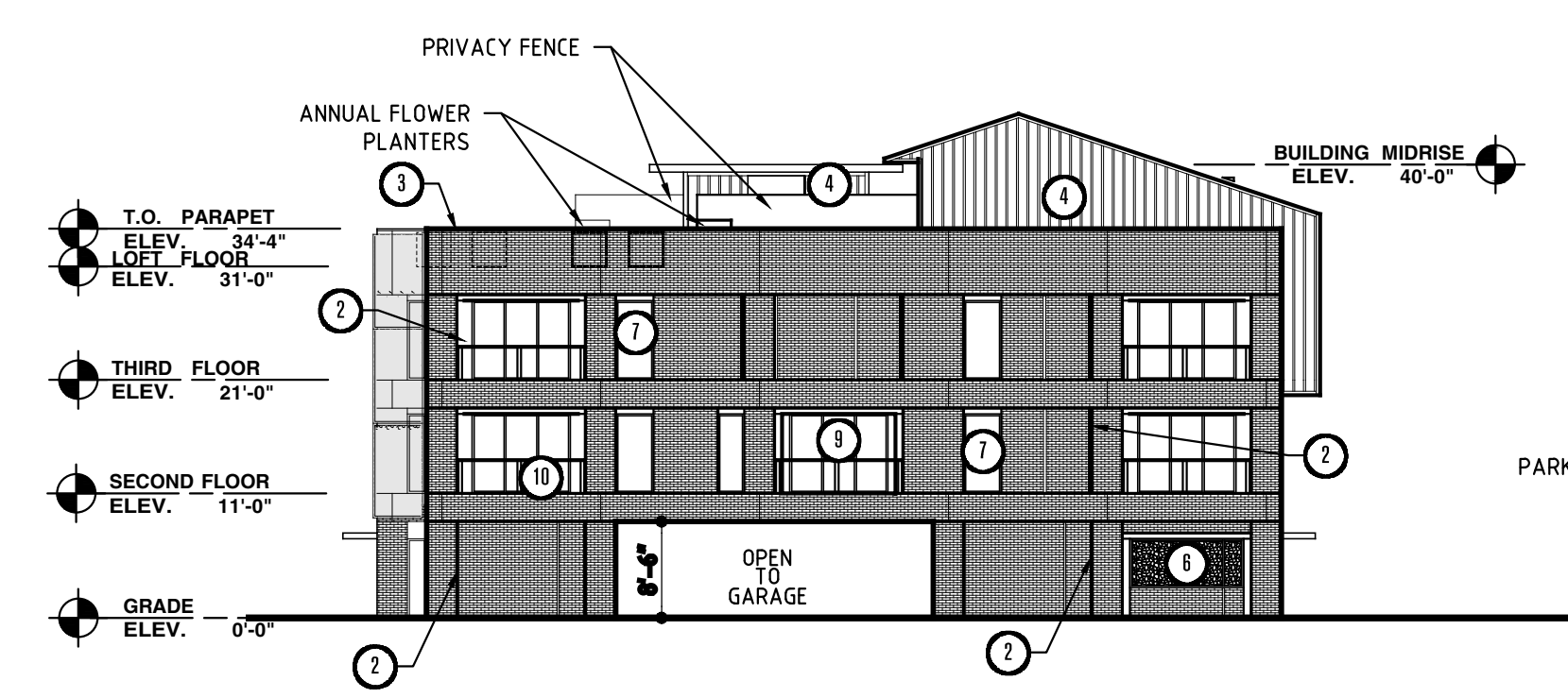
BRIDGE CLEAR HEAD HEIGHT TO BE MINIMUM 14'-6", 15'-6" PROPOSED

ALL ROOF TOP EQUIPMENT TO BE ON EASTERLY SIDE OF ROOF. SCREENED FROM THE ROAD BY THE LOFT ROOF PROTRUSION ON THE WEST AND PARAPET SCREEN WALLS ON THE REMAINING SIDES



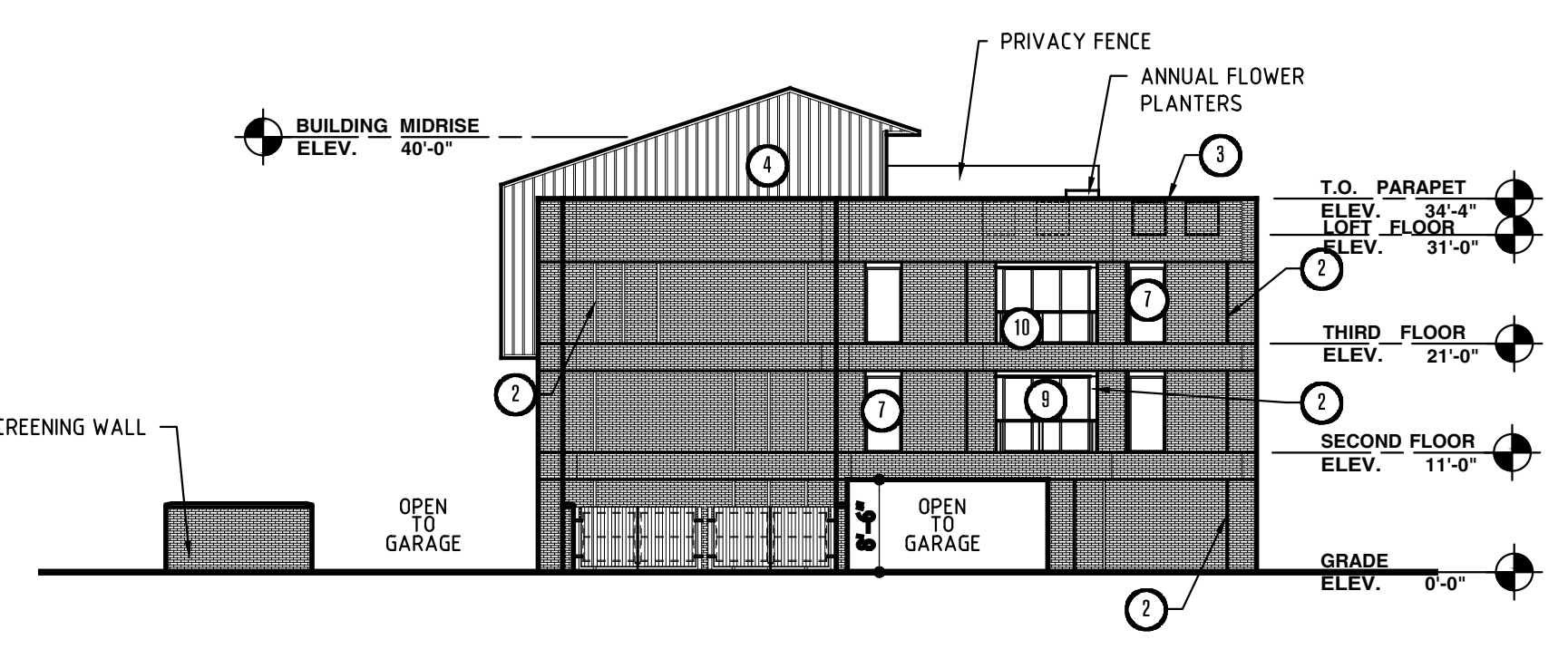
5 BUILDING SECTION

SCALE: 1/16" = 1'



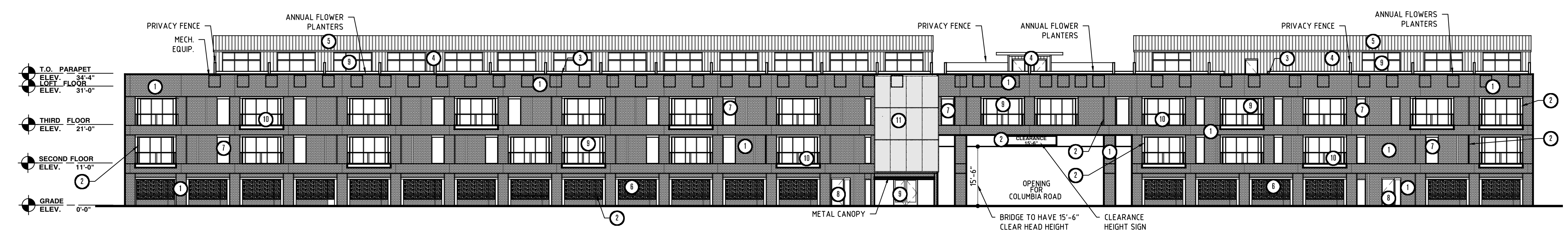
3 SOUTH ELEVATION

SCALE: 1/16" = 1'



2 NORTH ELEVATION

SCALE: 1/16" = 1'



1 WEST ELEVATION

SCALE: 1/16" = 1'

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The Columbia
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Berkley, MI 48072

Building Elevations & Section

023010
A3.1



North Coolidge View



South Coolidge View



Bird's Eye View

EST
1998
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ARCHITECTURE

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PUD Submit #5	01/15/24
PUD Submit #4	10/13/23
PUD Submit #3	08/29/23
PUD Submit #2	08/25/23
PUD Submit	07/21/23
ISSUANCE	DATE



The Columbia
2465, 2475, 2466, 2476 Columbia and 2475, 2465 Cambridge St.
Berkley, MI 48072
Building Rendering

023010
A4.1



Columbia Road View



Columbia Rd Contextual View



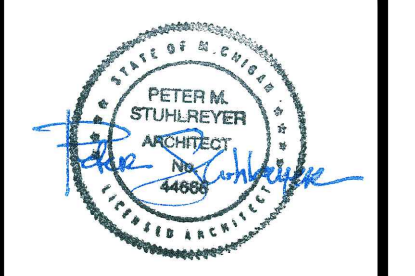
Cambridge Road View

DESIGNHAUS
ARCHITECTURE
EST 1998

3300 AUBURN RD, SUITE 300
AUBURN HILLS, MI 48326
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
INFO@DESIGNHAUS.COM

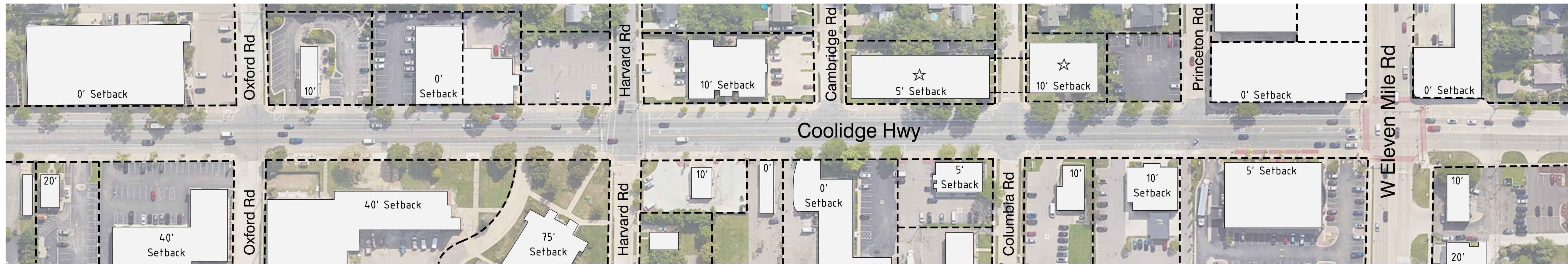
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PUD Submit #5	01/15/24
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The Columbia
2465, 2475, 2466, 2476 Columbia and 2475, 2465 Cambridge St.
Berkley, MI 48072
Building Rendering

023010
A4.3



Average front setback 8' from Coolidge Hwy 1,000' from site

Setback Study



Oxford Park Towers
120' Height

Taco Bell
20' Height

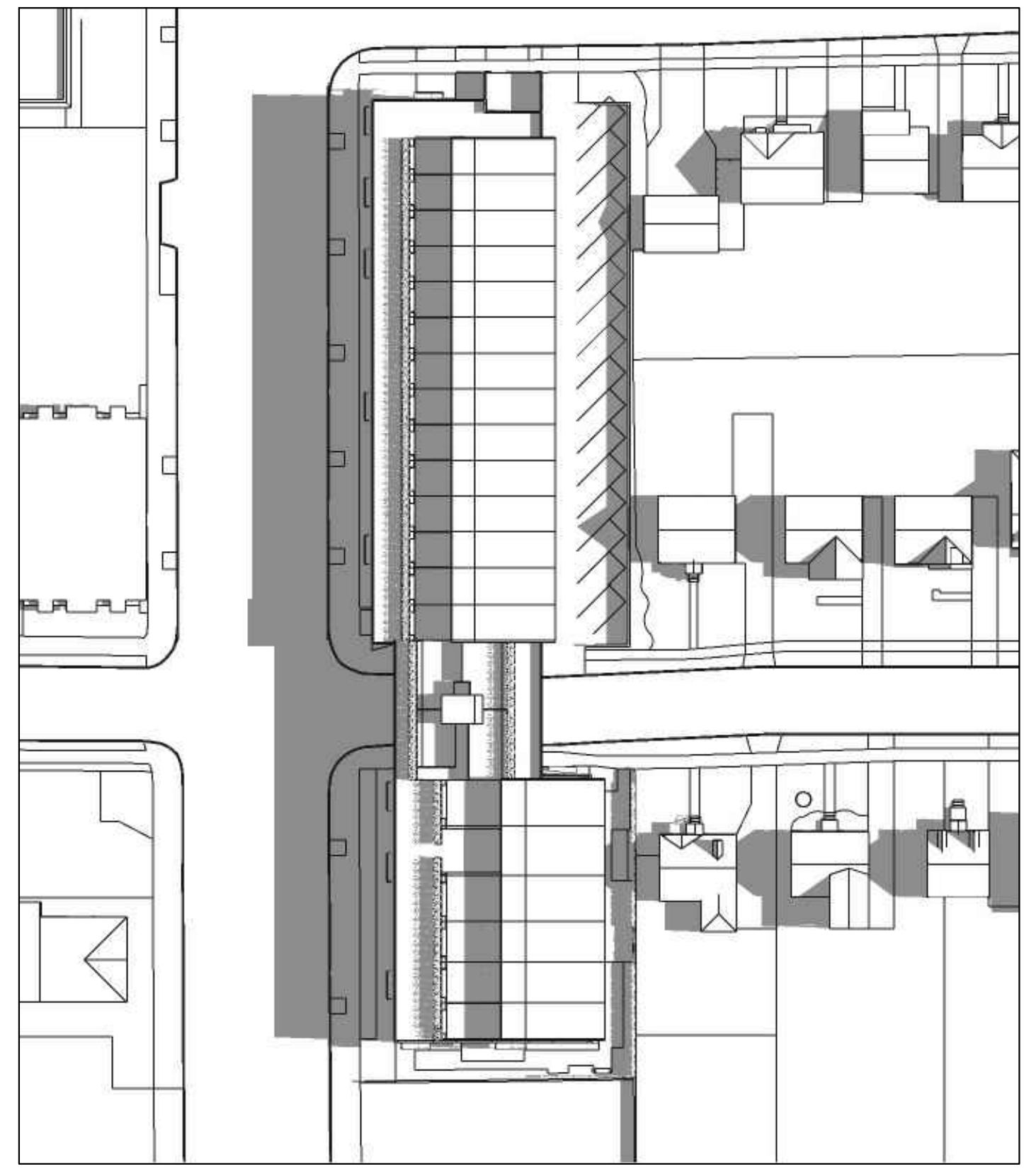
The Ivy
50' Height

2060 Coolidge Hwy
23.5' Midrise

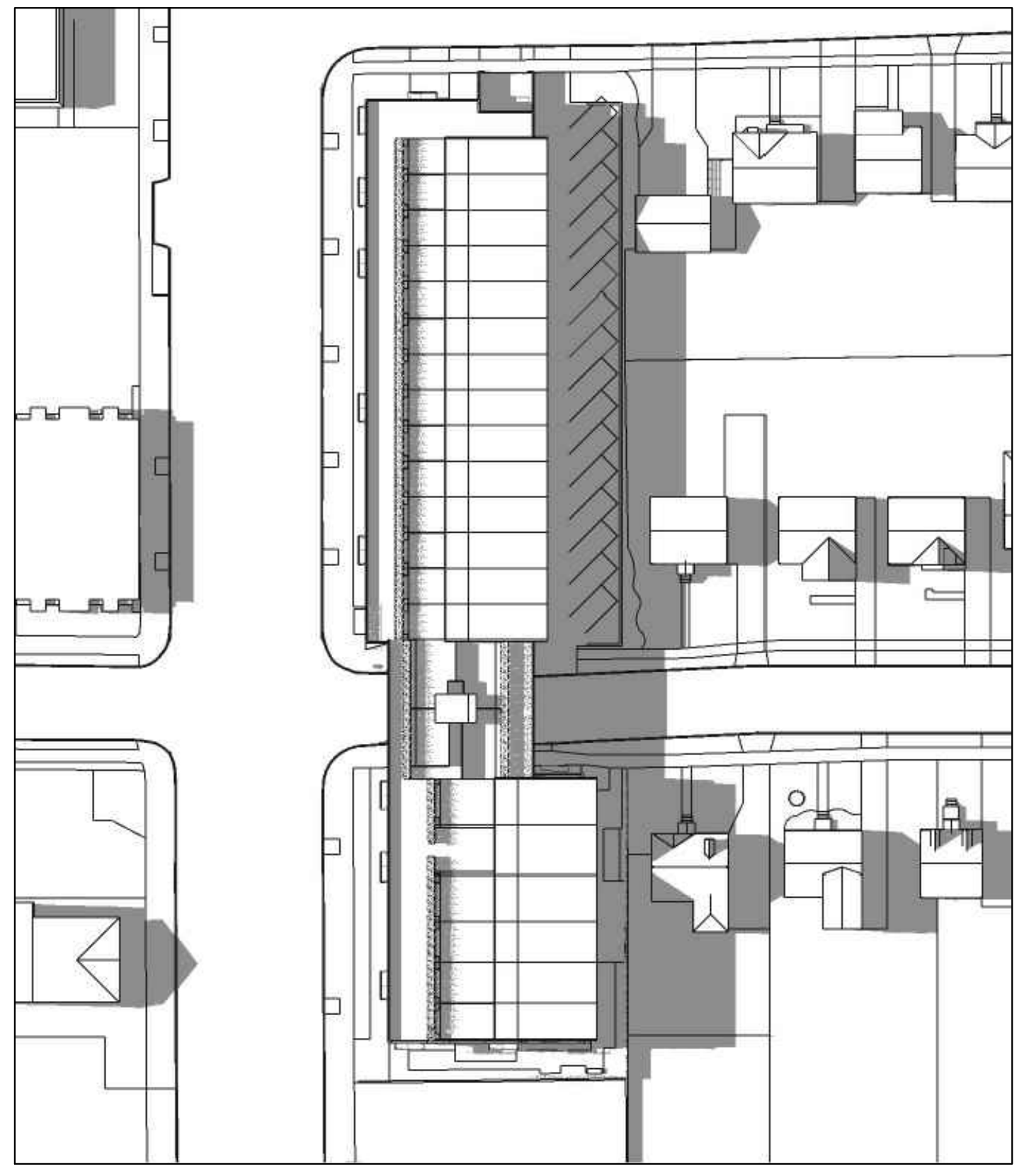
Proposed Structure
40' Midrise

Durst Lumber & Ace Hardware
35' Height

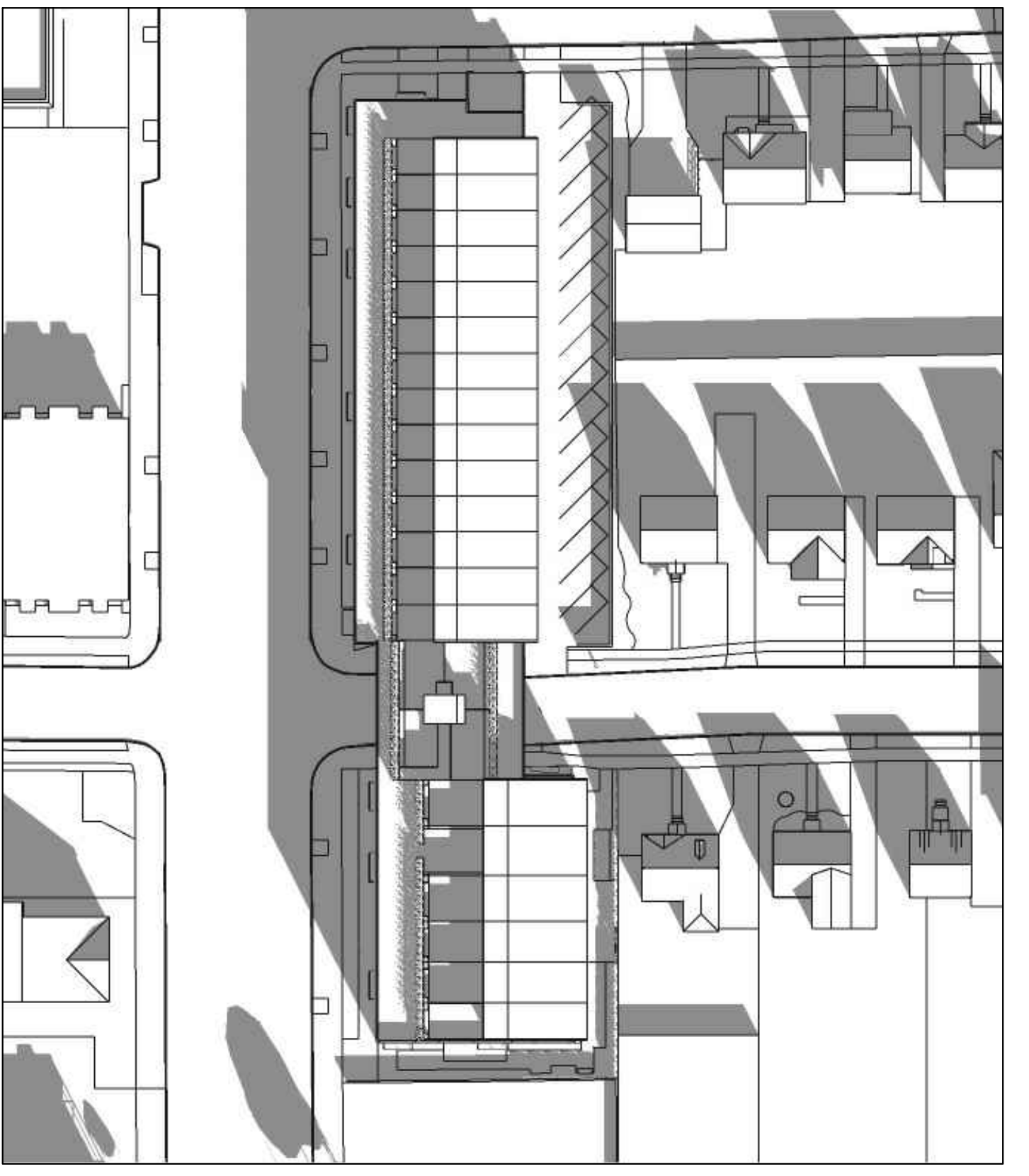
Elevation Study



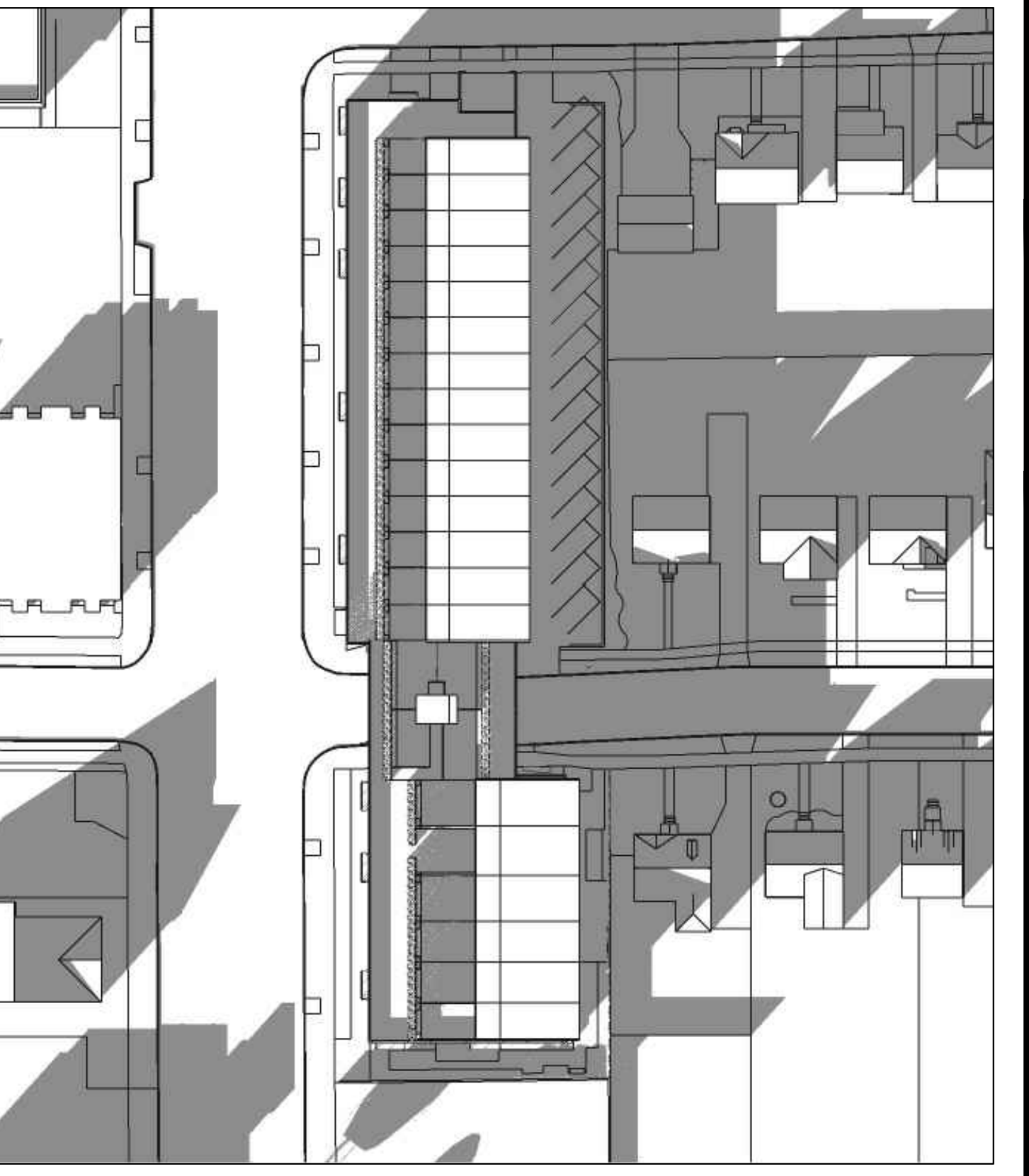
Summer Morning
July 9th, 7:30 AM



Summer Evening
July 9th, 6:30 PM



Winter Morning
January 3rd, 9:30 AM



Winter Evening
January 3rd, 3:30 PM

Shadow Study

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ARCHITECTURE

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INFO@DESIGNHAUS.COM

ISSUANCE	DATE
PUD Submit #5	01/15/24
PUD Submit #4	10/13/23
PUD Submit #3	08/29/23
PUD Submit #2	08/25/23
PUD Submit	07/21/23



The Columbia
2465, 2475, 2466, 2476 Columbia and 2475, 2465 Cambridge St.
Berkley, MI 48072

Setback & Elevation Studies

023010
A6.1

A6.1 Setback & Elevation Studies.dwg

1/15/2024

User



Coolidge View

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ARCHITECTURE
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AUBURN HILLS, MI 48326
T: 248.601.4422 F: 248.453.5854
WWW.DESIGNHAUS.COM
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PUD Submit #5	01/15/24
PUD Submit #4	10/13/23
PUD Submit #3	08/29/23
PUD Submit #2	08/25/23
PUD Submit	07/21/23
ISSUANCE	DATE



The Columbia
2465, 2475, 2466, 2476 Columbia and 2475, 2465 Cambridge St.
Berkley, MI 48072
Rendering

023010
A7.1

APPLICATION FOR PLANNED UNIT DEVELOPMENT

A complete application, a check payable to the 'City of Berkley', and 14 copies of a complete set of *folded* plans and 18 copies of the required narrative report must be submitted to the City of Berkley one month prior to the date of the Planning Commission meeting. Fee: \$2000. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval. Account Number: 101-1-617

The Planning Commission meets the fourth Tuesday of every month. The meetings are held at 7:30 p.m. in the Council Chambers at the City Hall, 3338 Coolidge Highway.

Applicant:

Name: DesignHaus on behalf of WJ Ventures llc Phone: [REDACTED]

Complete Address: 3300 Auburn Rd. Suite #300, Auburn Hills, MI 48326

Property Owner (if different than above):

Name: WJ Ventures LLC Phone: [REDACTED]

Complete Address: 2060 Coolidge Hwy., Berkley, MI 48072

Representative:

Name: Peter Stuhreyer Title: Architect

Description of Property for Review:

Lot Number 353-001 & 002, 353-015 & 016, 355-001 & 002

Subdivision Hannan's West Royal Oak Subdivision

Sidwell/Parcel Identification Number 2465 & 2475 Cambridge, 2465, 2466, 2475 & 2475

Columbia Street Address: Cambridge & Columbia on the East side of
(north, south, east, west)

Coolidge between 11Mile Road and Catalpa Drive
(street) (street) (street)

I understand that Planning Commissioners may need to access my property to better understand my case.



07.25.23

Signature of Applicant

Date Signed

=====

Office Use Only

Date Application Received: _____ Fee: _____ Receipt Number: _____

Hearing Date: _____ Case Number: _____

Planning Commission Hearing: _____

City Coucil, First Reading: _____

City Council Second Reading: _____



**CITY OF BERKLEY
COMMUNITY DEVELOPMENT**

3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name: The Columbia

Applicant: Designhaus Architecture on behalf of WJ Ventures LLC

Mailing Address: 3300 Auburn Rd Suite 300 Auburn Hills, MI 48326

Telephone: [REDACTED]

Email: [REDACTED]

Property Owner(s), if different from Applicant: WJ Ventures LLC

Mailing Address: 2060 Coolidge Hwy, Berkley, MI 48072

Telephone: [REDACTED]

Email: [REDACTED]

Applicant's Legal Interest in Property: Property Owner

LOCATION OF PROPERTY:

Street Address: 2465, 2475, 2466, 2476 Columbia St. & 2475, 2465 Cambridge St Berkley, MI 48072

Nearest Cross Streets: 11 Mile & Coolidge Hwy.

Sidwell Number(s): Please see Project Drawings cover sheet.

PROPERTY DESCRIPTION:

Provide lot numbers and subdivision: 353-001 & 002, 353-015 & 016, 355-001 & 002

Property Size (Square Feet): 36,154.8 sq.ft. (Acres): .83 acres

EXISTING ZONING DISTRICT *(please check):*

- | | | |
|-------------------------------|--|--|
| <input type="checkbox"/> R-1A | <input type="checkbox"/> Local Business | <input type="checkbox"/> Coolidge |
| <input type="checkbox"/> R-1B | <input type="checkbox"/> Office | <input type="checkbox"/> Downtown |
| <input type="checkbox"/> R-1C | <input type="checkbox"/> Community Centerpiece | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> R-1D | <input type="checkbox"/> Woodward | <input type="checkbox"/> Cemetery |
| <input type="checkbox"/> RM | <input type="checkbox"/> Eleven Mile | <input type="checkbox"/> Parking |
| <input type="checkbox"/> RMH | <input type="checkbox"/> Twelve Mile | <input checked="" type="checkbox"/> Gateway District |

Present Use of Property:

Residential

Proposed Use of Property:

Multifamily Residential

Is the property located within the Downtown Development Authority? Yes No

PROJECT DESCRIPTION:

Proposed development of a 3 story with loft space multifamily building.

Does the proposed project / use of property require Special Land Use approval? Yes No

Does the proposed project require Variance(s) from the Zoning Board of Appeals? Yes No

If yes, please describe Variances required:

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential	57	52,685sq.ft.	80	
Office				
Commercial				
Industrial				
Other				

PROFESSIONALS WHO PREPARED PLANS:

A. Name: Peter Stuhldreier - Designhaus Architecture
 Mailing Address: 3300 Auburn Rd. Suite 300 Auburn Hills, MI 48326
 Telephone: [REDACTED]
 Email: [REDACTED]
 Design Responsibility (engineer, surveyor, architect, etc.): Architect

B. Name: Giffels Webster
 Mailing Address: 1025 E. Maple Rd Suite 100, Birmingham, MI 48009
 Telephone: [REDACTED]
 Email: [REDACTED]
 Design Responsibility: Civil Engineer

SUBMIT THE FOLLOWING:

1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
2. A pdf file of the site plans, submitted to the Community Development Director.
3. Proof of property ownership (title insurance policy or registered deed with County stamp).
4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:


- | | |
|---|--|
| <input type="checkbox"/> Road Commission for Oakland County | <input type="checkbox"/> Oakland County Health Division |
| <input type="checkbox"/> MI Dept. of Transportation | <input type="checkbox"/> MI Dept. of Environment, Great Lakes & Energy |

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.


Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.


We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.


PROPERTY OWNER'S APPROVAL: (Initial each line)

 I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

APPLICANT'S ENDORSEMENT: (Initial each line)

 All information contained therein is true and accurate to the best of my knowledge.

 I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

 I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

Peter Stuhreyer 7/20/23
Signature of Applicant Date

PETER STUHREYER
Applicant Name (Print)

Signature of Applicant Date

Applicant Name (Print)

Wayne Wudyka 7/18/23
Signature of Property Owner Authorizing this Application Date

WJ VENTURES L.L.C.
Property Owner Name (Print)

OFFICE USE ONLY

Received _____ Receipt # _____ Meeting Date _____ Case # _____

Fees:
Site Plan Review \$600 **Plus Escrow:** Multi-family \$660 Commercial \$1,100

Administrative: \$300 Extension \$200

Engineering: Multi-family Full Site \$1,500 Escrow \$800 Commercial Full Site \$1,300 Escrow \$800
Multi-family Partial Site \$1000 Escrow \$800 Commercial Partial Site \$800 Escrow \$800